

CUSTOM HOUSE

- ALL PRODUCTS LISTED BY ICC/N.E.R. NUMBER(S) SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTION(S) FOR PRODUCT(S) LISTED SHALL ALSO HAVE AN ICC APPROVED EVALUATION REPORT(S) OR BE APPROVED.
- MISCELLANEOUS SITE STRUCTURES, POOLS, SPAS, FENCES, SITE WALLS, RETAINING WALLS, AND GAS STORAGE TANKS MAY REQUIRE SEPARATE PERMITS.
- ALL EXITS TO BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. (310.1.4)
- DOORS LEADING INTO HOUSE FROM GARAGE SHALL BE 20 MINUTE RATED OR EQUAL, SELF-CLOSING, SELF-LATCHING. (R302.5.1 AMEND.).
- EXTERIOR WALL PENETRATIONS BY PIPES, DUCTS OR CONDUITS SHALL BE CAULKED. (R307.6)
- LUMBER SHALL BEAR AN APPROVED GRADING STAMP (R502.1).
- BOTTOM WOOD SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL. EXTERIOR WALL BOTTOM SILL PLATES SHALL BEAR/EXTEND MINIMUM 6 INCHES ABOVE FINISH GRADE. (R317.1, NO. 3).
- FIRE BLOCKING SHALL COMPLY WITH (R602.8).
- MASONRY BED AND HEAD JOINTS SHALL BE 3/8 INCH-THICK, THE THICKNESS OF THE BED JOINT OF THE STARTING COURSE PLACED OVER FOUNDATIONS SHALL NOT BE LESS THAN 1/4 INCH AND NOT MORE THAN 3/4 INCH. MORTAR JOINT THICKNESS SHALL BE WITHIN THE FOLLOWING TOLERANCES FROM THE SPECIFIED DIMENSIONS: 1. BED JOINT: + 1/8 INCH. 2. HEAD JOINT: 1/4 INCH + 3/8 INCH. 3. COLLAR JOINTS: 1/4 INCH + 3/8 INCH. (R607.2.1).
- WINDOWS LOCATED MORE THAN 72" ABOVE FINISHED GRADE SHALL HAVE THE LOWEST PART OF CLEAR OPENING OF THE WINDOW TO BE MINIMUM 24 INCHES ABOVE THE FLOOR IN WHICH IT SERVES. (R312.2.1).
- GYPSUM BOARD APPLIED TO A CEILING SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN FRAMING MEMBERS ARE 24" O.C. OR USE LABELED 1/2" SAG-RESISTANT GYPSUM CEILING BOARD. TABLE R702.3.5 (D).
- SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. (P2708.3).
- SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD NON-ABSORBENT SURFACE, SUCH AS CERAMIC TILE, TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET. WATER-RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER A VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT. CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS INSTALLED IN ACCORDANCE WITH MFGRS' RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS (R702.4.2).
- PLUMBING FIXTURES SHALL COMPLY WITH THE FOLLOWING CONSERVATION REQUIREMENTS: WATER CLOSETS-TANK TYPE 1.6 GAL. /FLUSH. SHOWER HEADS- 2.5 GAL. /MINUTE. FAUCETS- 2.2 GAL. /MINUTE, PROVIDE AERATOR. (TABLE P2903.2.). WATER TREATMENT SYSTEMS- SHALL BE EQUIPPED WITH AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SHUTOFF TO PREVENT CONTINUOUS FLOW WHEN NOT IN USE. (N1103.4.1).
- DOMESTIC DISHWASHING MACHINES CONNECTED TO A DISPOSER SHALL HAVE THE DISCHARGE INSTALLED AS HIGH AS POSSIBLE. (P2717.3).
- STORAGE-TANK TYPE WATER HEATERS SHALL BE INSTALLED WITH A DRAIN PAN AND DRAIN LINE. (P2801.5.1-2).
- THE HOT WATER CIRCULATING SYSTEM SHALL BE EQUIPPED WITH AN AUTOMATIC OR READILY ACCESSIBLE MANUAL ON SWITCH AND A TEMPERATURE SENSOR ACTIVATED SHUT-OFF THAT CAN AUTOMATICALLY TURN OFF THE HOT-WATER CIRCULATING PUMP WHEN THE SET TEMPERATURE IS REACHED. N1103.4.1 AMENDED.
- PROVIDE ROOF/ATTIC VENTILATION UNLESS INSULATION IS APPLIED DIRECTLY TO UNDERSIDE OF ROOF SHEATHING OR THE DIMENSION IS 24 INCHES OR LESS BETWEEN THE CEILING AND BOTTOM OF ROOF SHEATHING. (R806.1 AMENDED).
- PROVIDE MINIMUM R-3 INSULATION ON HOT WATER PIPES. (N1103.4).
- SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO A MINIMUM R-8. DUCTS IN FLOOR TRUSSES, MINIMUM R-6. (N1103.2.1).
- REGISTERS, DIFFUSERS AND GRILLES SHALL BE MECHANICALLY FASTENED TO RIGID SUPPORTS OR STRUCTURAL MEMBERS ON AT LEAST TWO OPPOSITE SIDES IN ADDITION TO BEING CONNECTED TO THE DUCTWORK THEY SERVE.
- DRYER EXHAUST DUCTS SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS (M1502.4.5 AMENDED), M1502.4.1 THRU M1502.4.6.
- EXHAUST AIR FROM KITCHENS, BATHROOMS AND TOILET ROOMS SHALL NOT BE RE-CIRCULATED WITHIN A RESIDENCE OR TO ANOTHER DWELLING UNIT, SHALL NOT DISCHARGE INTO AN ATTIC AND/OR CRAWL SPACE AND SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS. (M1507.2).
- ZELECTRICAL FIXTURES LOCATED IN DAMP OR WET LOCATIONS SHALL BE "LISTED" TO BE SUITABLE FOR SUCH LOCATION. (E4003.9).
- PROVIDE A WALL MOUNTED GFCI PROTECTED RECEPTACLE OUTLET WITHIN 36" OF A BATHROOM OR POWDER ROOM LAVATORY. (E3901.6).
- 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES AND GRADE-LEVEL PORTIONS OF UNFINISHED ACCESSORY BUILDINGS USED FOR

- STORAGE OR WORK AREAS, AND INSTALLED OUTDOORS SHALL HAVE GFCI PROTECTION FOR PERSONNEL. (E3902.1-3).
- ALL BRANCH CIRCUITS THAT SUPPLY 15- AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATIONS ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (E3902.12).
 - IN AREAS SPECIFIED IN SECTION E3901.1, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT. (E4002.14).
 - PROVIDE SMOKE ALARMS IN NEW AND EXISTING AREAS OF HOME. (R314).
 - APPROVED CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. (R315).
 - PROVIDE A SWITCH FOR THE STAIRWAY WHEN THERE ARE 6 OR MORE RISERS. (R303.7.1).
 - RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY, FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE 2 FEET OR MORE IN WIDTH. (E3901).
 - PROVIDE A MINIMUM OF TWO 20-AMP SMALL APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN/DINING/BREAKFAST. (E3703.2).
 - PROVIDE A CONCRETE ENCASED GROUNDING ELECTRODE OF NOT LESS THAN 20 FEET OF #4 BARE COPPER. (E3608.1.2).
 - PROVIDE BONDING TO THE WATER PIPING, GAS AND METAL BUILDING SYSTEMS. (E3606.9, E3609.7).
 - ALL METAL PIPING SYSTEMS, METAL PARTS OF ELECTRICAL EQUIPMENT, AND PUMP MOTORS ASSOCIATED WITH THE HYDRO MASSAGE TUB SHALL BE BONDED TOGETHER USING A COPPER BONDING JUMPER, INSULATED, COVERED, OR BARE, NOT SMALLER THAN NO. 8 SOLID. (E4209).
 - A MINIMUM OF 95 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM OF 75 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS. (N1104.1).
 - RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE IC-RATED, LABELED WITH AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM... SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. (N1102.4.4).
 - PROVIDE OUTSIDE COMBUSTION AIR TO ALL INDOOR FIREPLACES, WITH AIR INTAKE LOCATED NOT HIGHER THAN THE FIREBOX. (R1006.2).
 - WHERE A LISTED DECORATIVE APPLIANCE IS INSTALLED, THE FIREPLACE DAMPER SHALL BE AFIXED OPEN AND SHALL COMPLY WITH THE LISTED DECORATIVE APPLIANCE MANUFACTURE'S INSTALLATION INSTRUCTIONS. (G2434, G2435, G2453.1).
 - AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM. (N1103.1).
 - THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF SECTION M1507 OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING. (N1103.5).
 - THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS). TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. (N1102.4.1.2).
 - DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTION M1601.4.1, (N1103.2.2). DUCT TIGHTNESS SHALL BE VERIFIED BY EITHER OF THE FOLLOWING:

- A. POST-CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE LESS THAN OR EQUAL TO 4 CFM PER 100 SQUARE FEET OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 0.1 INCHES W.G. (25 PA) ACROSS THE ENTIRE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTER BOOTS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
- B. ROUGH-IN TEST: TOTAL LEAKAGE SHALL BE LESS THAN OR EQUAL TO 4 CFM PER 100 FT2 OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 0.1 INCHES W.G. (25 PA) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST. IF THE AIR HANDLER IS NOT INSTALLED AT THE TIME OF THE TEST, TOTAL LEAKAGE SHALL BE LESS THAN OR EQUAL TO 3 CFM PER 100 SQUARE FEET OF CONDITIONED FLOOR AREA.



ELECTRIC

- RECEPTACLE
- PARTIALLY SWITCHED RECEPTACLE
- FLOOR RECEPTACLE
- GFCI RECEPTACLE
- WATER PROOF RECEPTACLE
- SWITCH
- 3 WAY SWITCH
- FAN / LIGHT
- SECURITY LIGHT
- CEILING MOUNT
- WALL SCONCE
- CEILING PENDANT
- FAN / LIGHT
- 6" RECESSED CAN
- LED TUBE LIGHTING
- UNDER-COUNTER
- CABLE
- STAIR RISER LED ON A PHOTOCCELL

SHEET SCHEDULE

- G-101 TITLE SHEET
- C-101 SITE PLAN
- A-101 FIRST FLOOR PLAN
- A-102 SECOND FLOOR PLAN
- A-103 ROOF PLAN
- A-104 KITCHEN RENDERINGS
- A-104A KITCHEN RENDERINGS
- A-201 ELEVATION
- A-202 ELEVATION
- A-203 ELEVATION
- A-204 ELEVATION
- A-205 RENDERINGS
- E-101 FIRST FLOOR ELECTRICAL PLAN
- E-102 SECOND FLOOR ELECTRICAL PLAN

SQUARE FOOTAGE

HEATED & COOLED

1ST FLOOR PLAN	2,230 SF
2ND FLOOR PLAN	1010 SF
TOTAL	3,240 SF

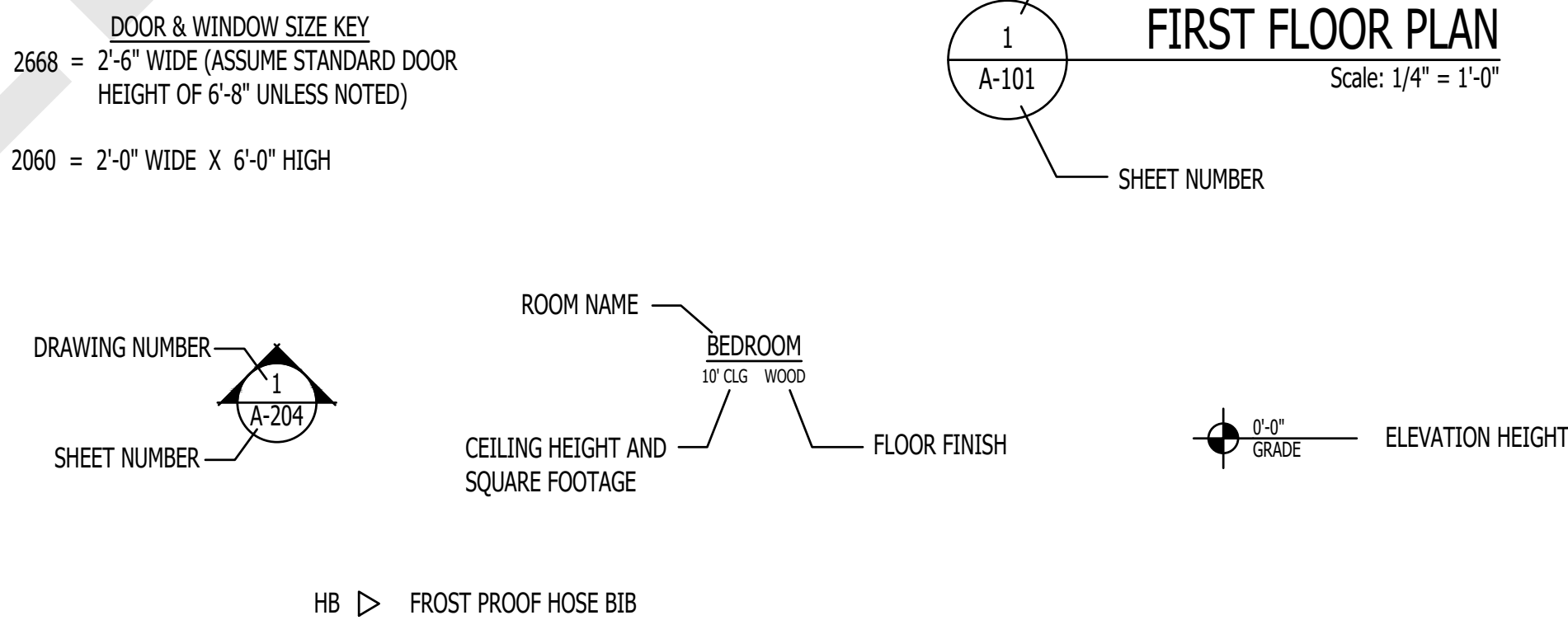
UNHEATED/UNCOOLED

1ST FL FRONT PORCH	252 SF
1ST FL BACK PORCH	470 SF
2ND FL SMALL STORAGE	275 SF
2ND FL ABOVE SCREENED PORCH	420 SF
TOTAL	1,406 SF

GARAGE UN HEATED & COOLED

2ND FLOOR ABOVE	795 SF
TOTAL	795 SF

KEYS & SYMBOLS



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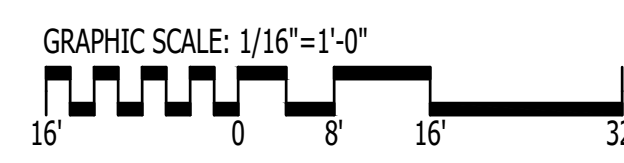
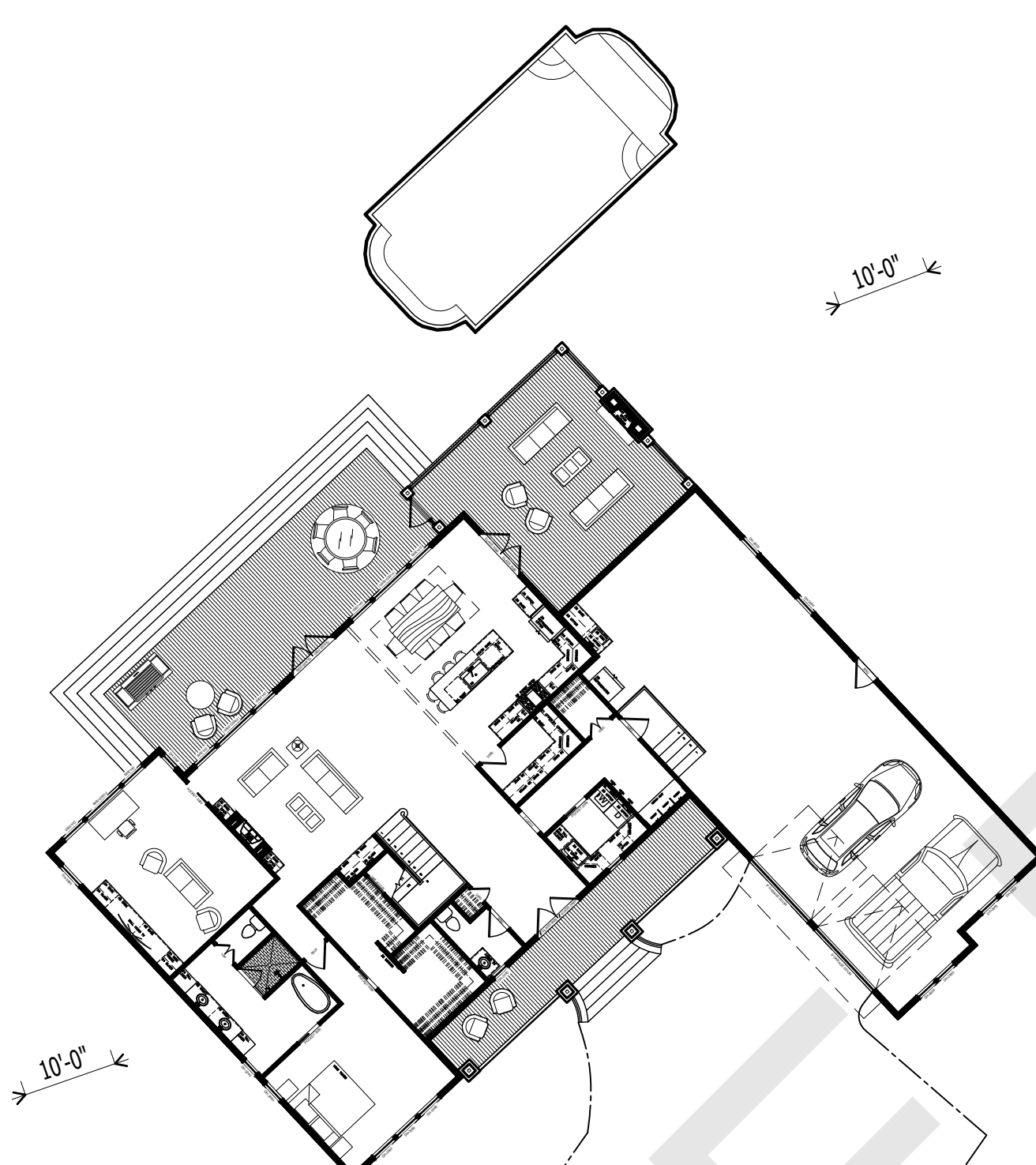
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G-101

TITLE SHEET

1806 BRICES CREEK



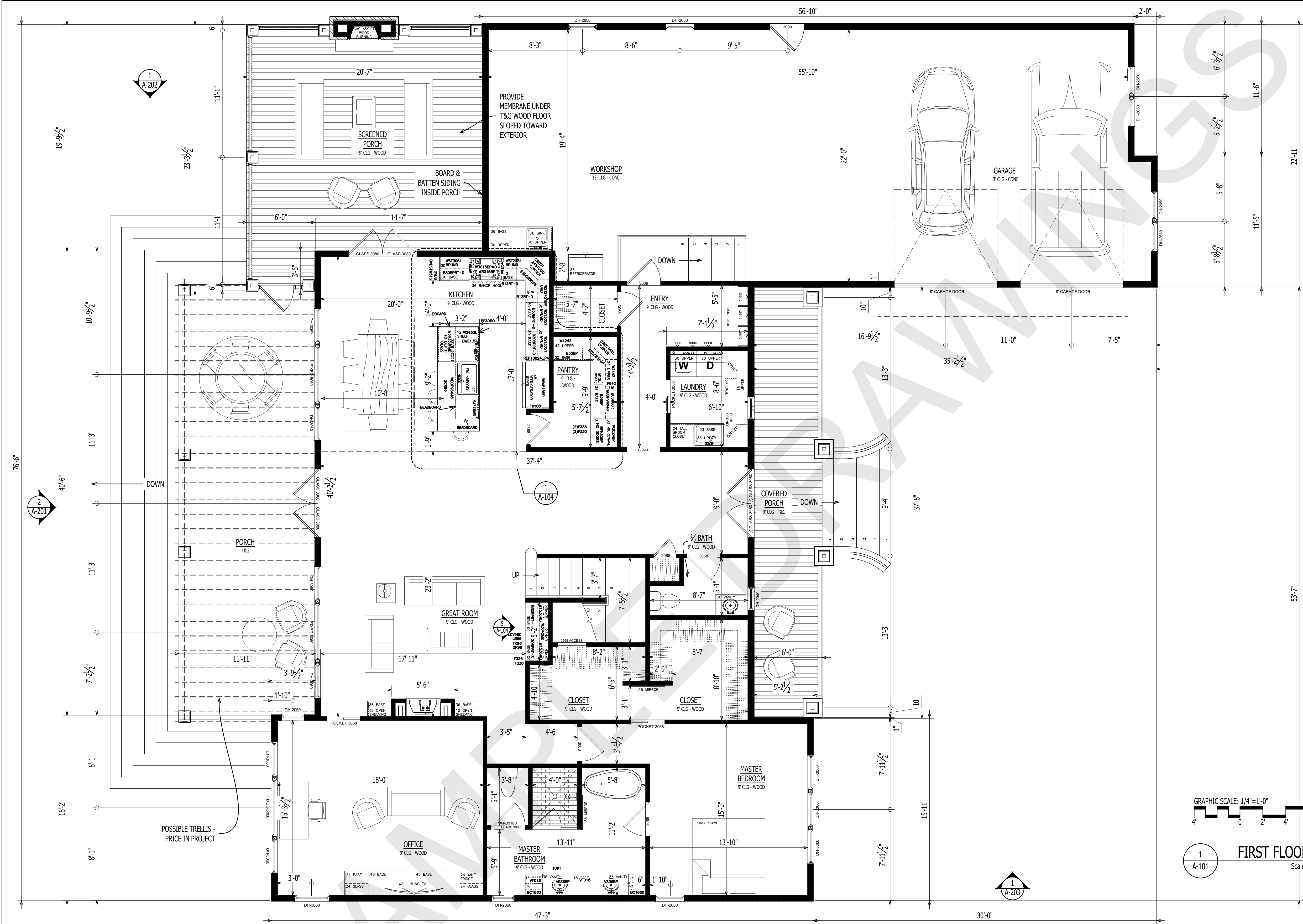
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C-101

SITE PLAN

Scale: 1/16" = 1'-0"

NORTH



- GENERAL NOTES**
1. DIMENSIONS ARE TO FACE OF STUD
 2. ALL EXTERIOR WALLS - 2X6 WOOD STUD @ 16" O.C.
 3. ALL INTERIOR WALLS - 2X4 WOOD STUD @ 16" O.C.
 4. 1/2" PAINTED GYPSUM BOARD ON ALL WALLS AND CEILING
 5. BATHROOMS TO RECEIVE 3/8" MOISTURE RESISTANT GYPSUM BOARD ON ALL SURFACES
 6. SEAL ALL JOINTS AND OPENINGS WITH CONTINUOUS SILICONE CAULKING
 7. INTERIOR DOORS TO PAINTED MASONITE
 8. WOOD FLOORING TO BE COMPOSITE LAMINATE WITH HDF CORE, 4" + WIDTH, AND 6MM THICKNESS MIN.
 9. EXTERIOR COLUMNS TO BE 12" COMPOSITE SQUARE
 10. PORCH DECKING TO BE 1X4 T&G KILN DRIED PAINTED OR STAINED DECKING
 11. FRONT RAILING TO BE DECORATIVE PAINTED METAL AND CABLE RAIL SYSTEM ON THE WATER SIDE.
 12. SHOWER - MOSAIC TILE FLOOR, TILE WALLS, FRAME-LESS GLASS ENCLOSURE
 13. CONFIRM ALL COLOR AND MATERIAL CHOICES WITH OWNER BEFORE ORDERING

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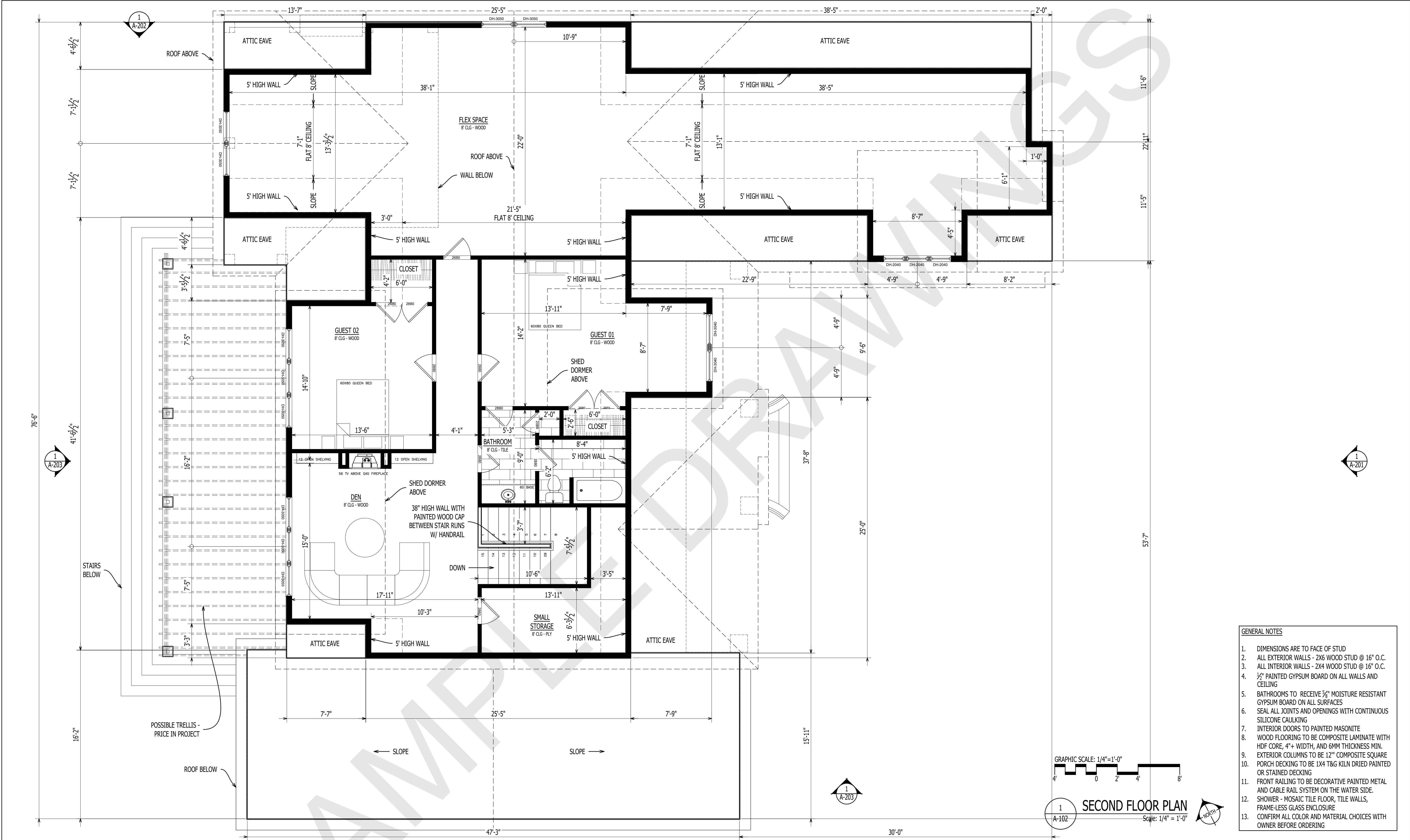
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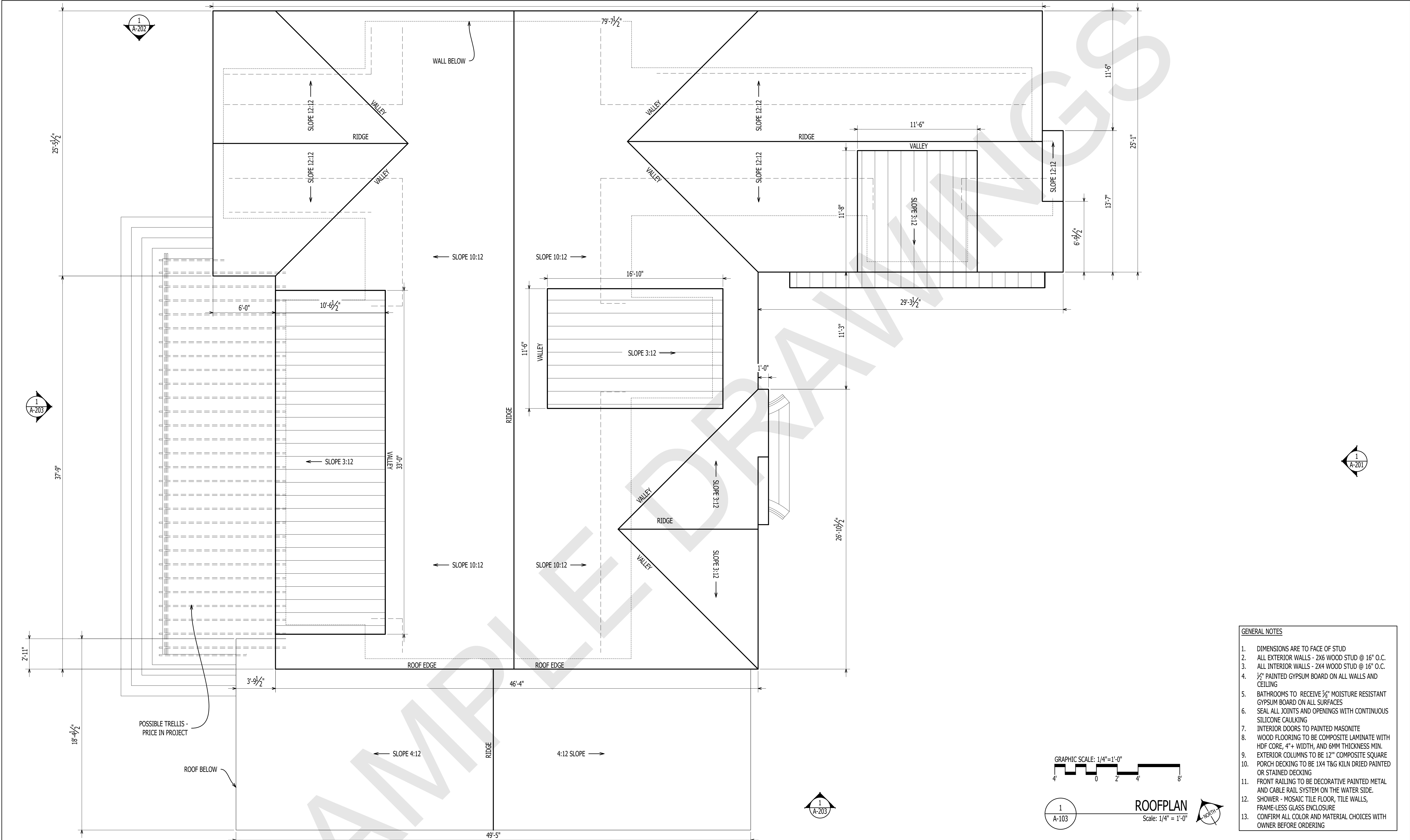
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A-101

FIRST FLOOR PLAN

1806 BRICES CREEK





- GENERAL NOTES**
- DIMENSIONS ARE TO FACE OF STUD
 - ALL EXTERIOR WALLS - 2X6 WOOD STUD @ 16" O.C.
 - ALL INTERIOR WALLS - 2X4 WOOD STUD @ 16" O.C.
 - 1/2" PAINTED GYPSUM BOARD ON ALL WALLS AND CEILING
 - BATHROOMS TO RECEIVE 5/8" MOISTURE RESISTANT GYPSUM BOARD ON ALL SURFACES
 - SEAL ALL JOINTS AND OPENINGS WITH CONTINUOUS SILICONE CAULKING
 - INTERIOR DOORS TO PAINTED MASONITE
 - WOOD FLOORING TO BE COMPOSITE LAMINATE WITH HDF CORE, 4" + WIDTH, AND 6MM THICKNESS MIN.
 - EXTERIOR COLUMNS TO BE 12" COMPOSITE SQUARE
 - PORCH DECKING TO BE 1X4 T&G KILN DRIED PAINTED OR STAINED DECKING
 - FRONT RAILING TO BE DECORATIVE PAINTED METAL AND CABLE RAIL SYSTEM ON THE WATER SIDE.
 - SHOWER - MOSAIC TILE FLOOR, TILE WALLS, FRAME-LESS GLASS ENCLOSURE
 - CONFIRM ALL COLOR AND MATERIAL CHOICES WITH OWNER BEFORE ORDERING



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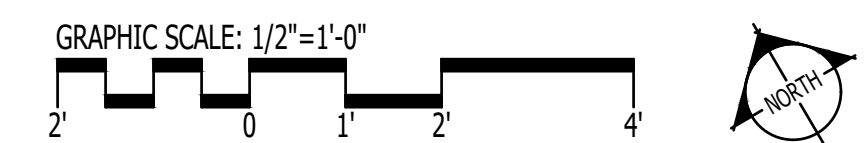
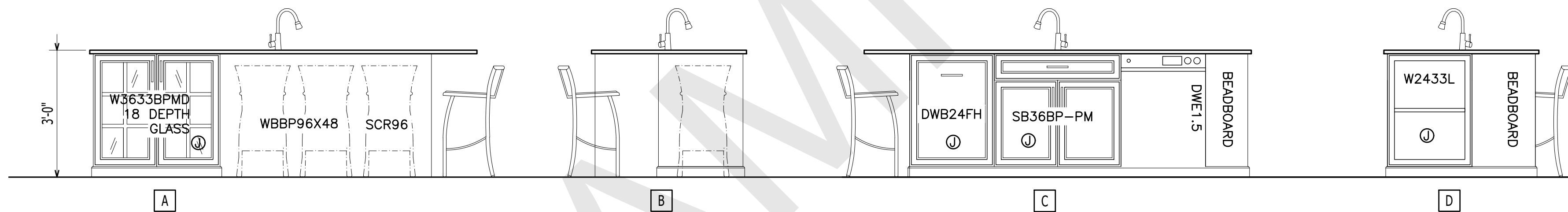
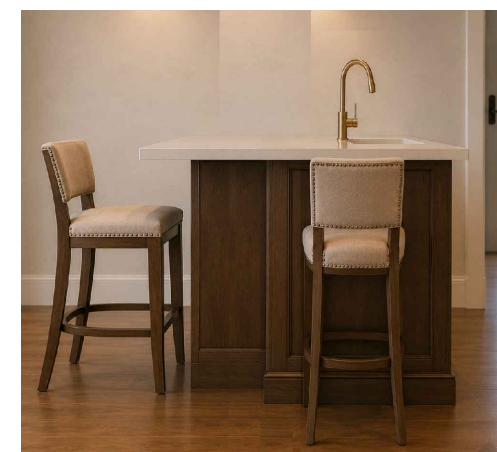
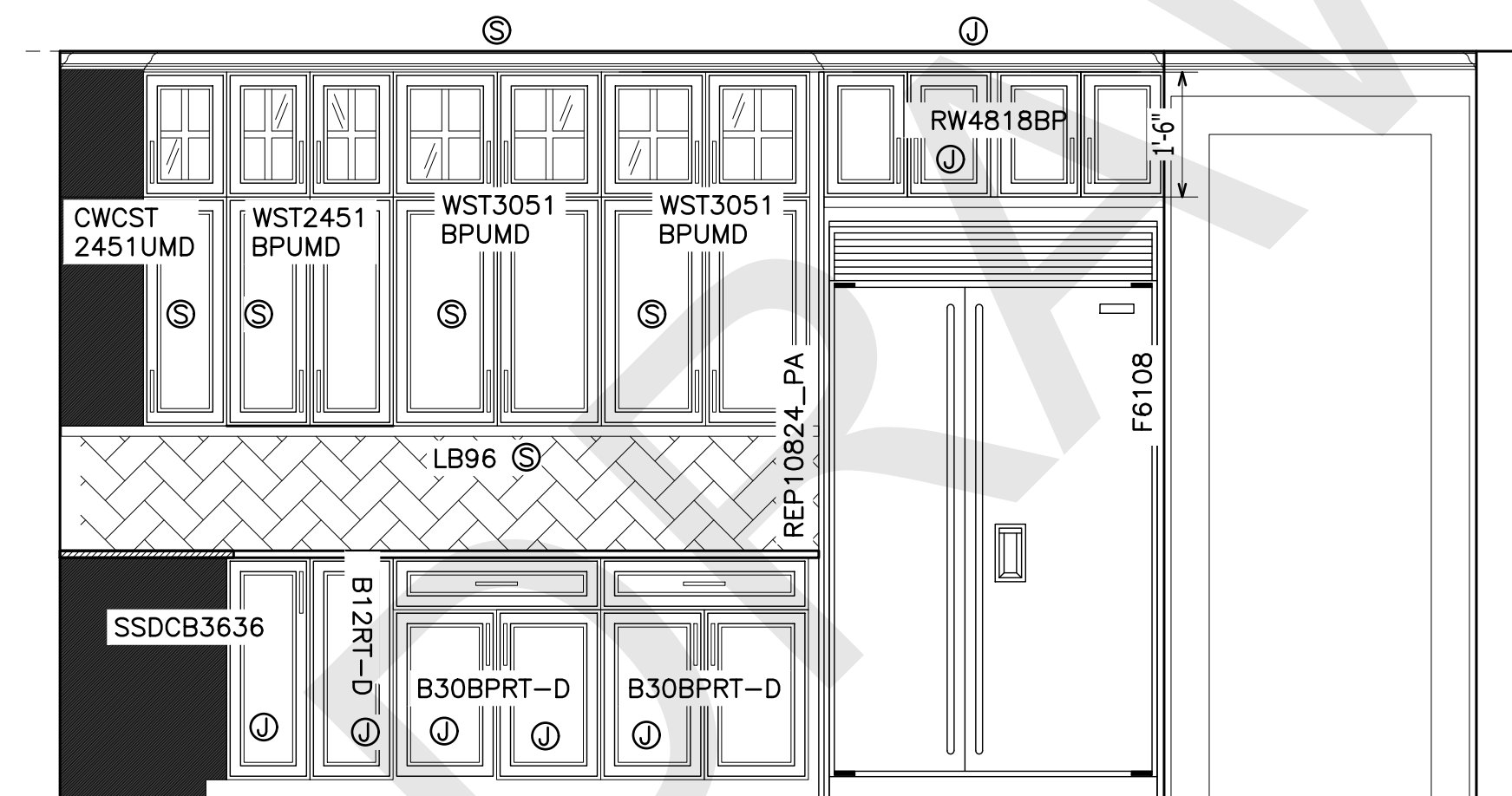
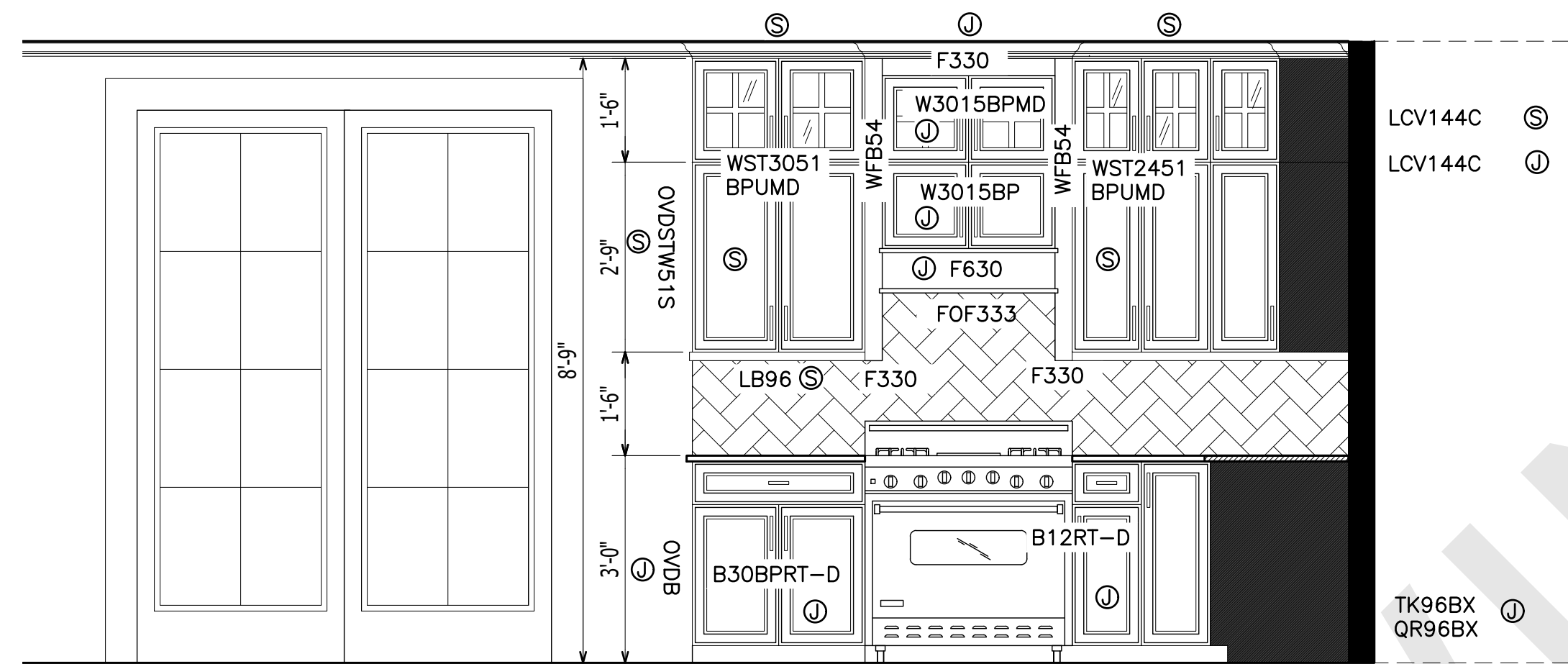
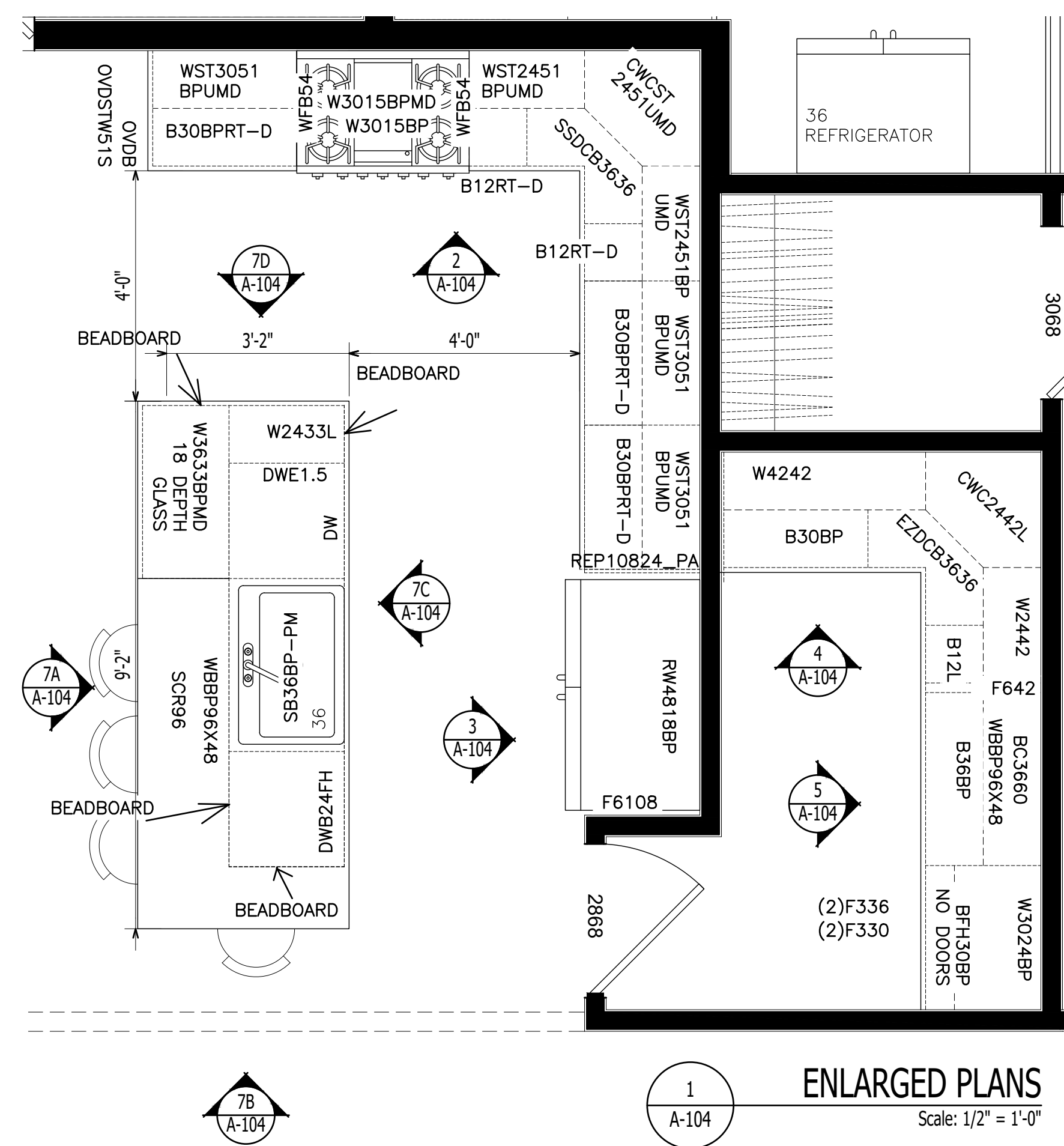
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ROOF PLAN

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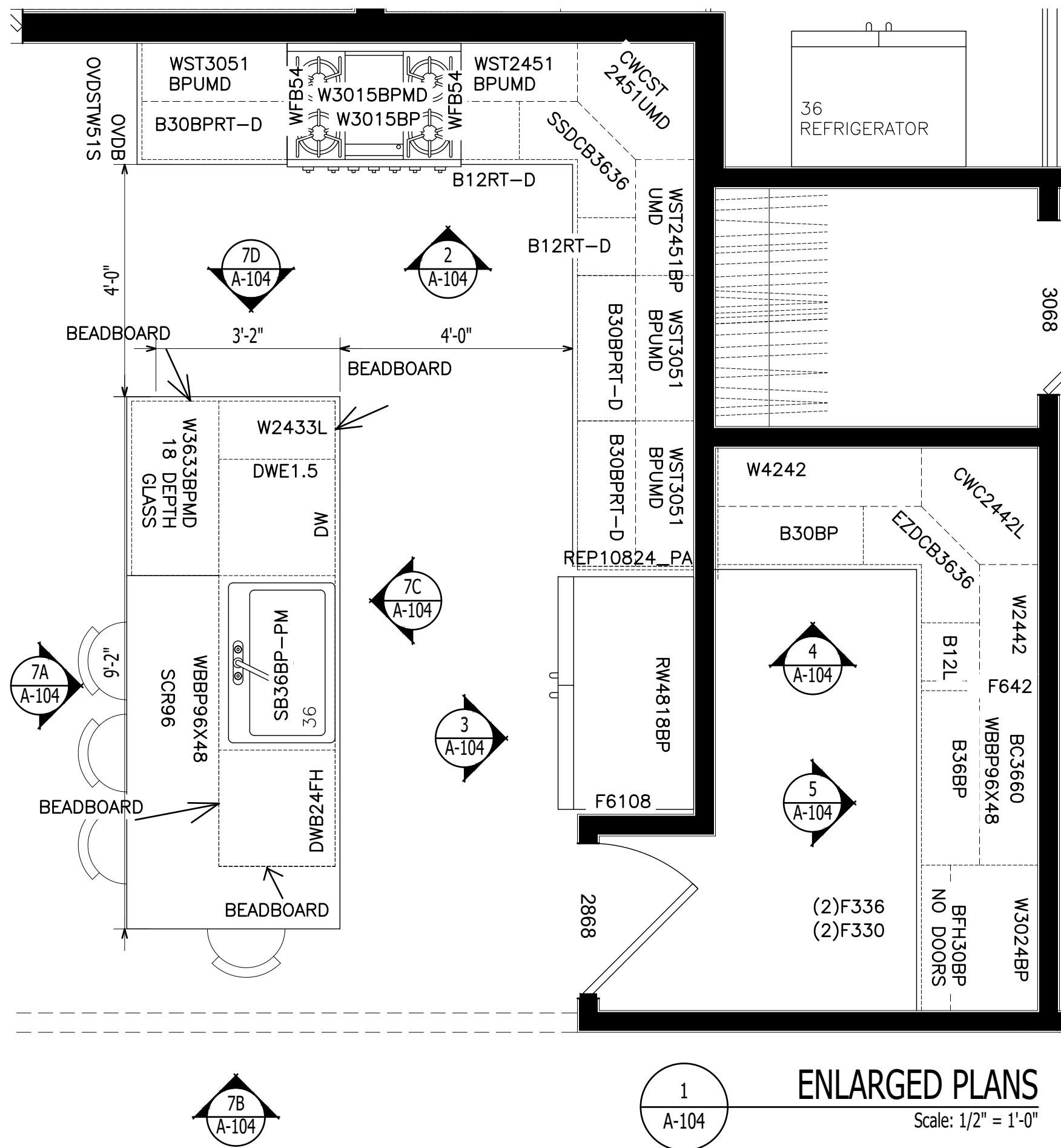
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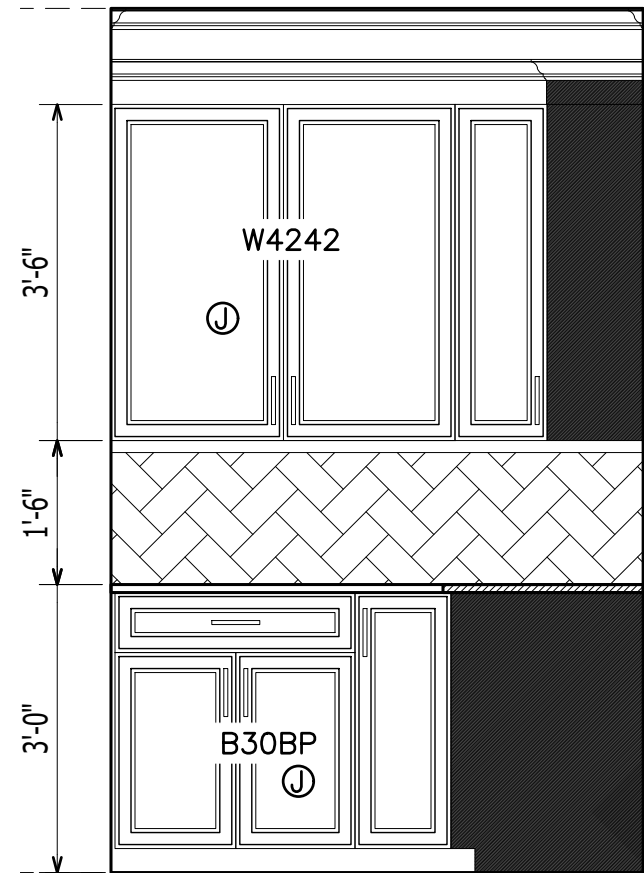
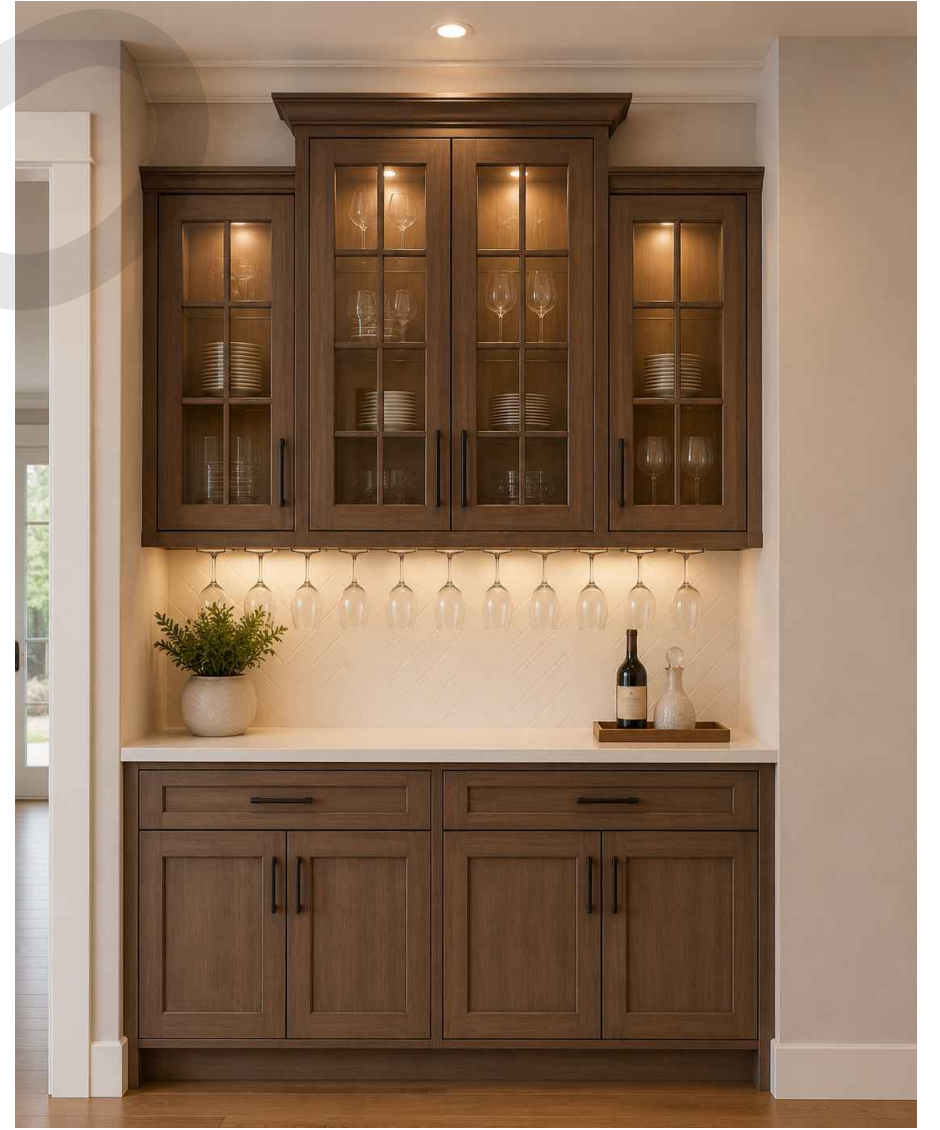
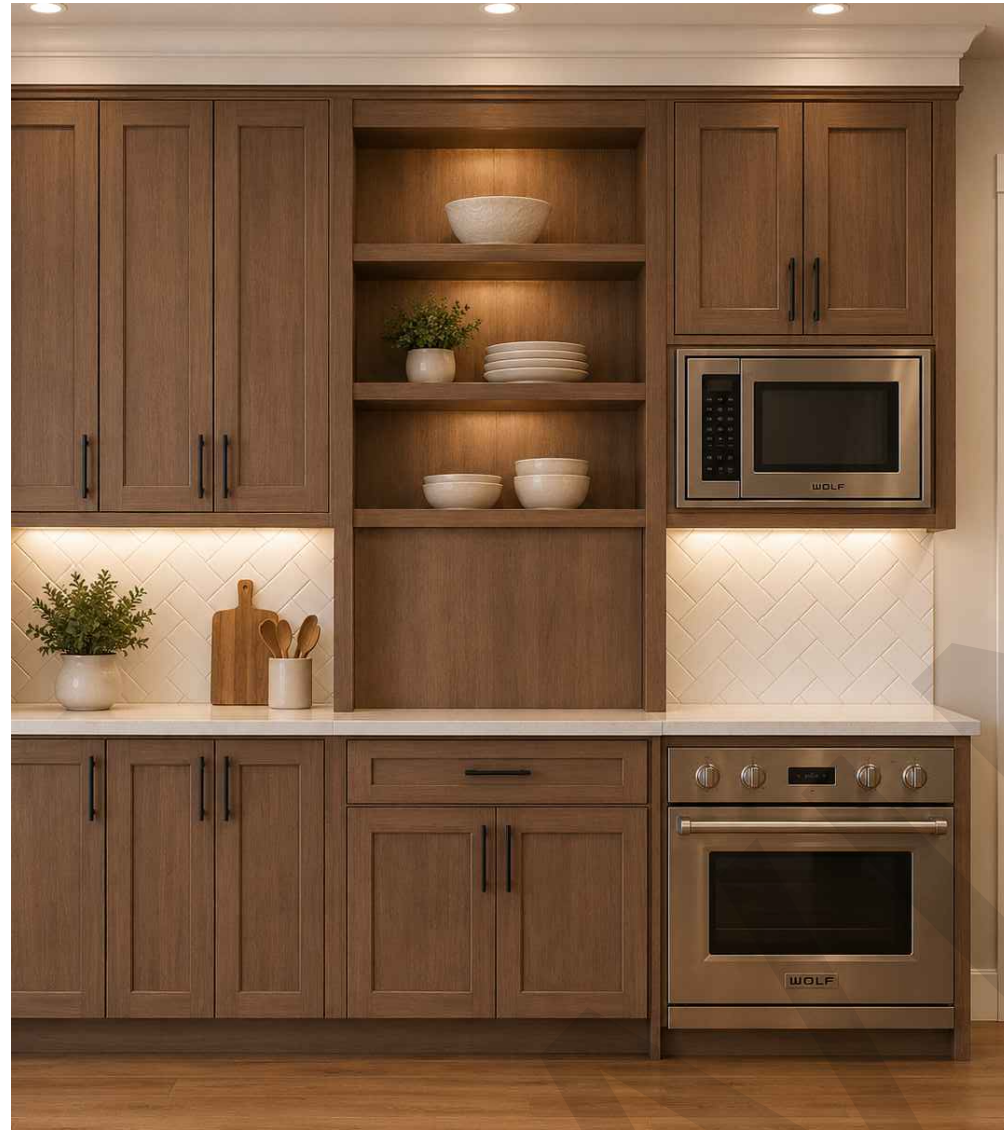
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ENLARGED PLANS & ELEVATIONS

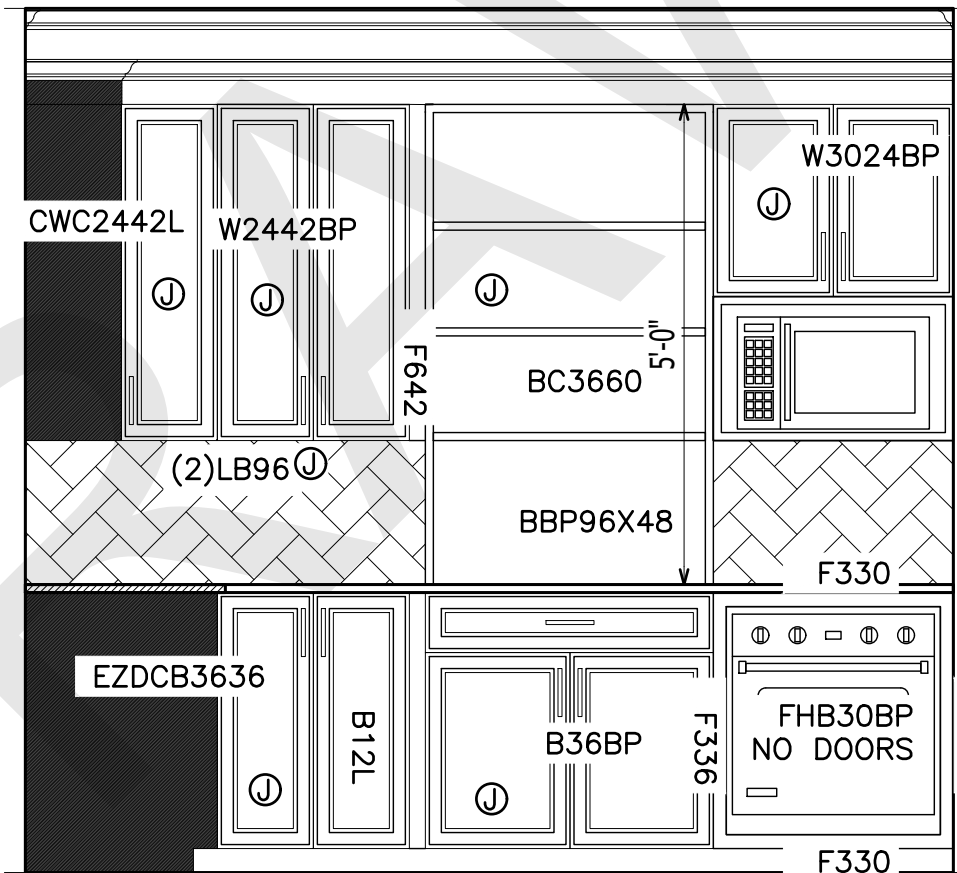
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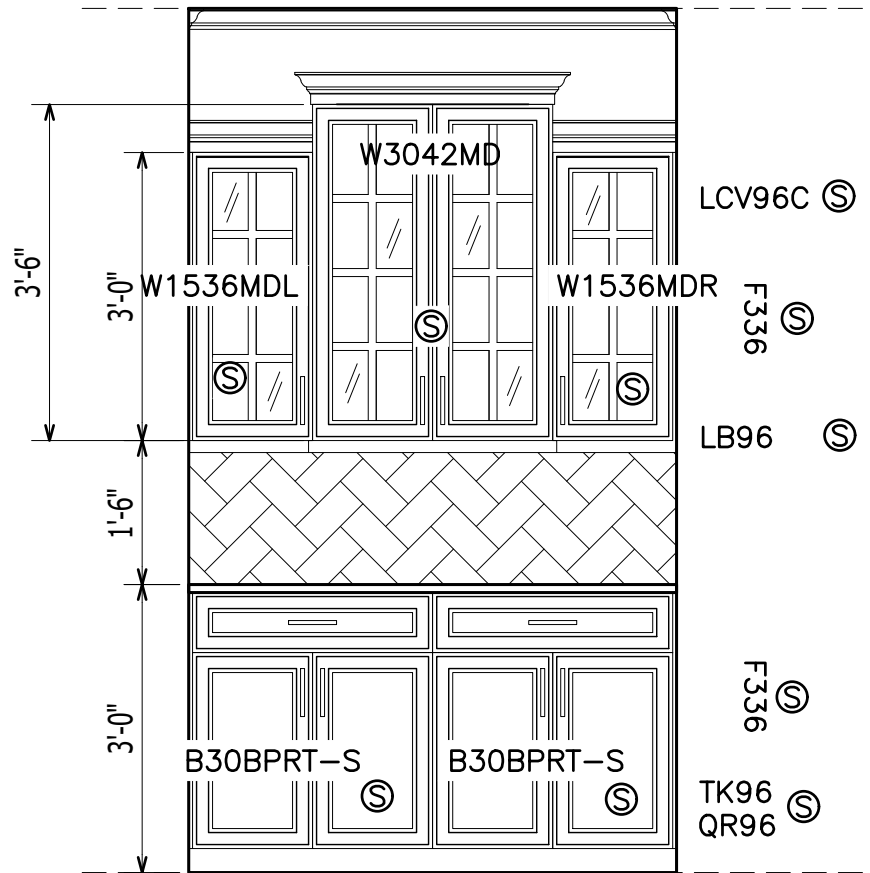
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A-104
ENLARGED PLANS
Scale: 1/2" = 1'-0"



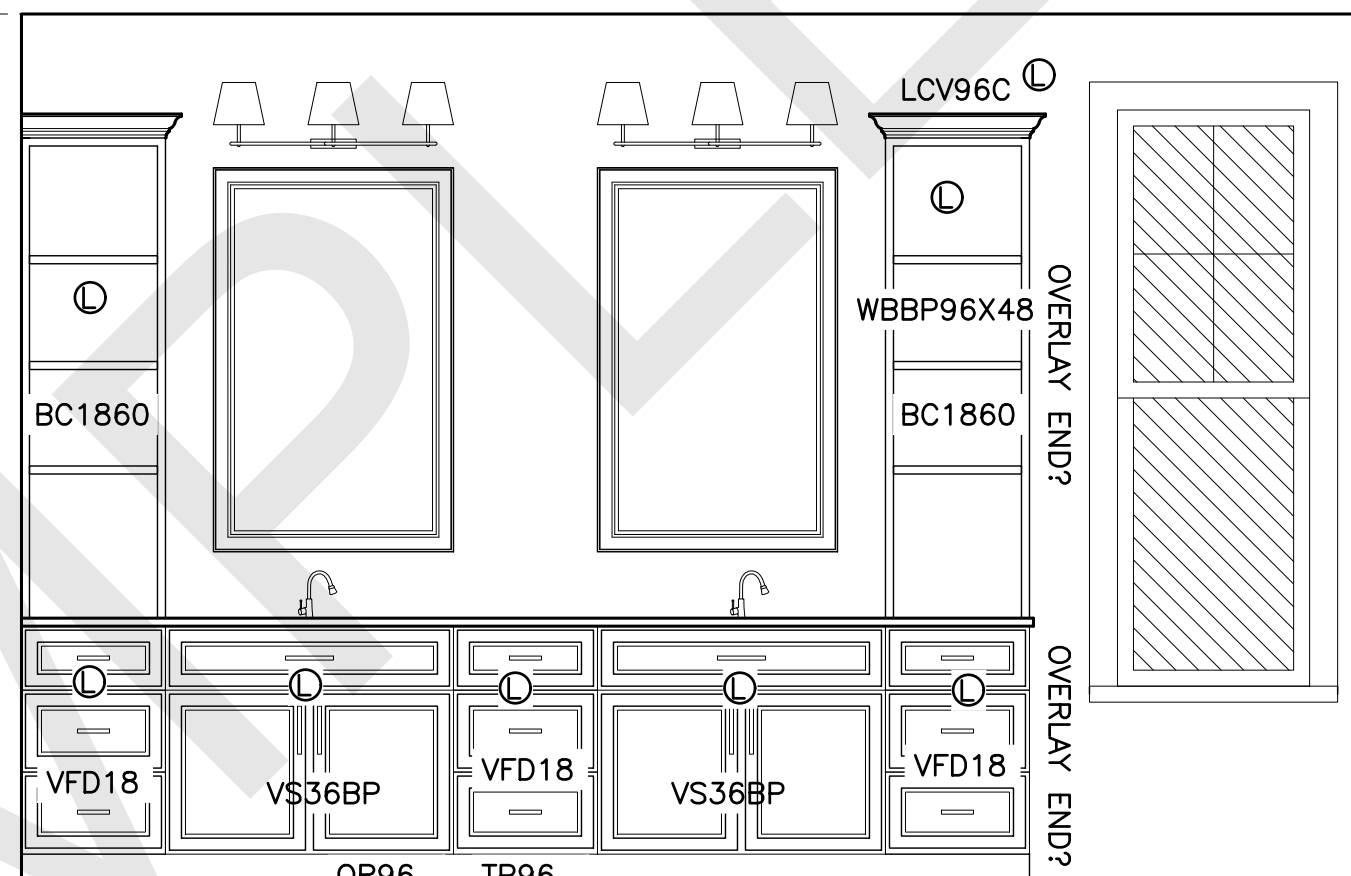
4
A-104
PANTRY ELEVATION
Scale: 1/2" = 1'-0"



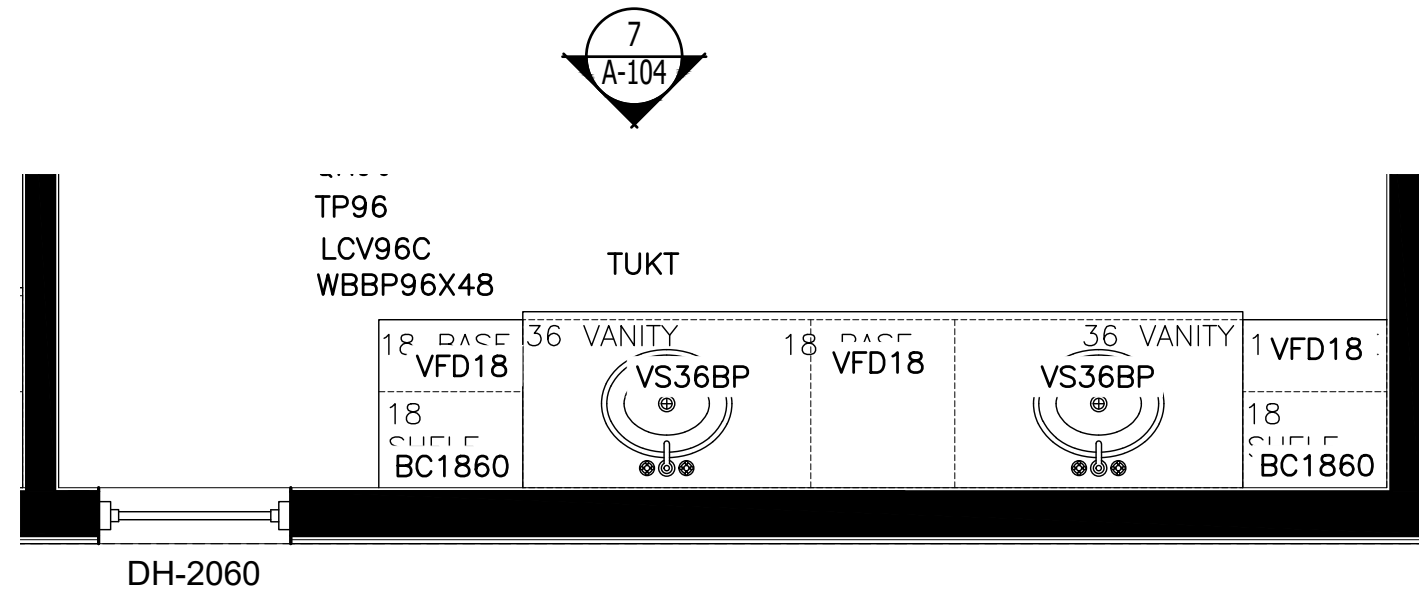
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A-104
PANTRY ELEVATION
Scale: 1/2" = 1'-0"



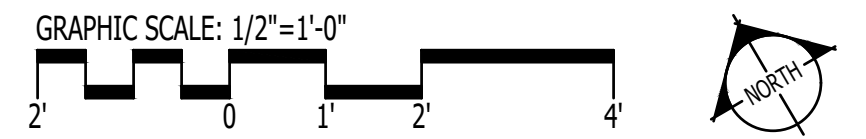
6
A-104
BAR ELEVATION
Scale: 1/2" = 1'-0"



7
A-104
MASTER BATH ELEVATION
Scale: 1/2" = 1'-0"



8
A-104
ENLARGED PLANS
Scale: 1/2" = 1'-0"



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A-104

ENLARGED PLANS & ELEVATIONS

1806 BRICES CREEK

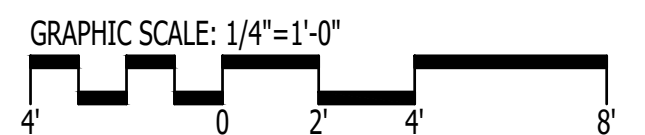


NOTE:
VERIFY STONE OR BRICK FACE WITH OWNER
BEFORE FOUNDATION BEGINS. VERIFY ALL
COLOR AND MATERIAL CHOICES WITH OWNER
BEFORE PURCHASING.

1
A-201

EXTERIOR ELEVATION

Scale: 1/4" = 1'-0"



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A-201

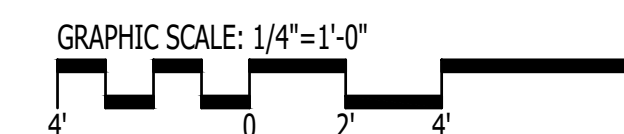
ELEVATION

1806 BRICES CREEK



1
A-202
EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"

NOTE:
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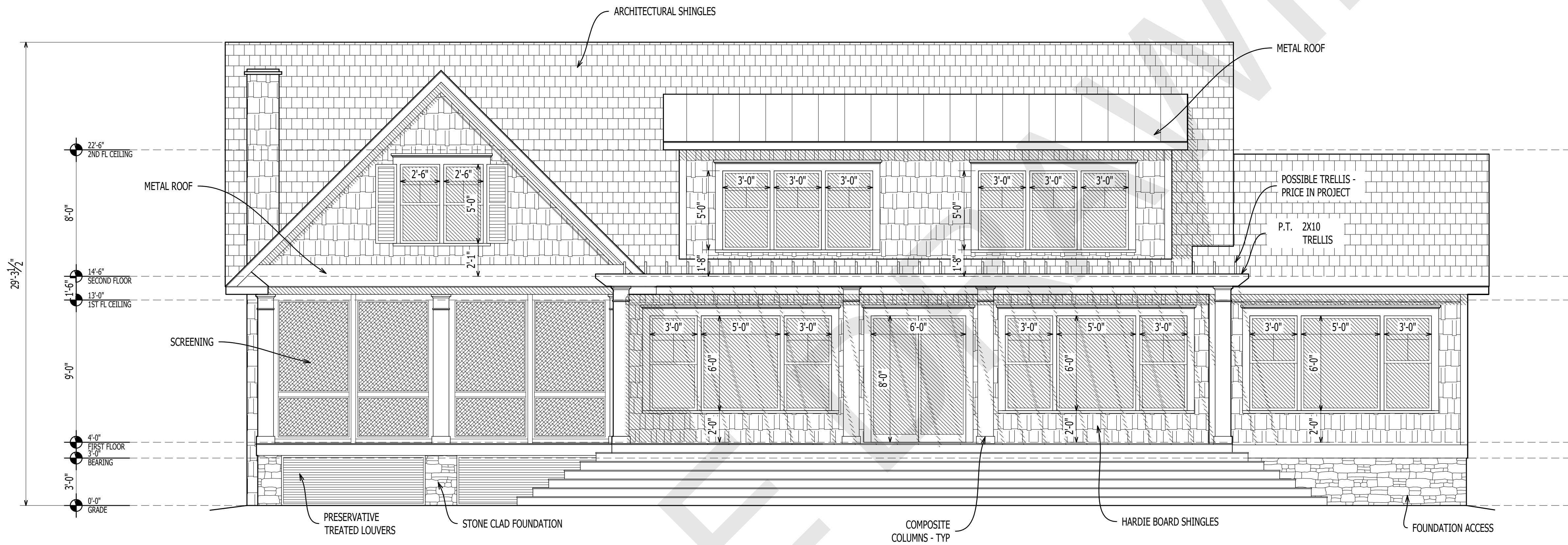
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A-202

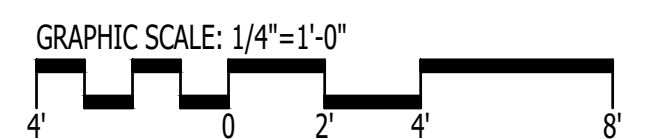
ELEVATION

1806 BRICES CREEK



1
A-203
EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"

NOTE:
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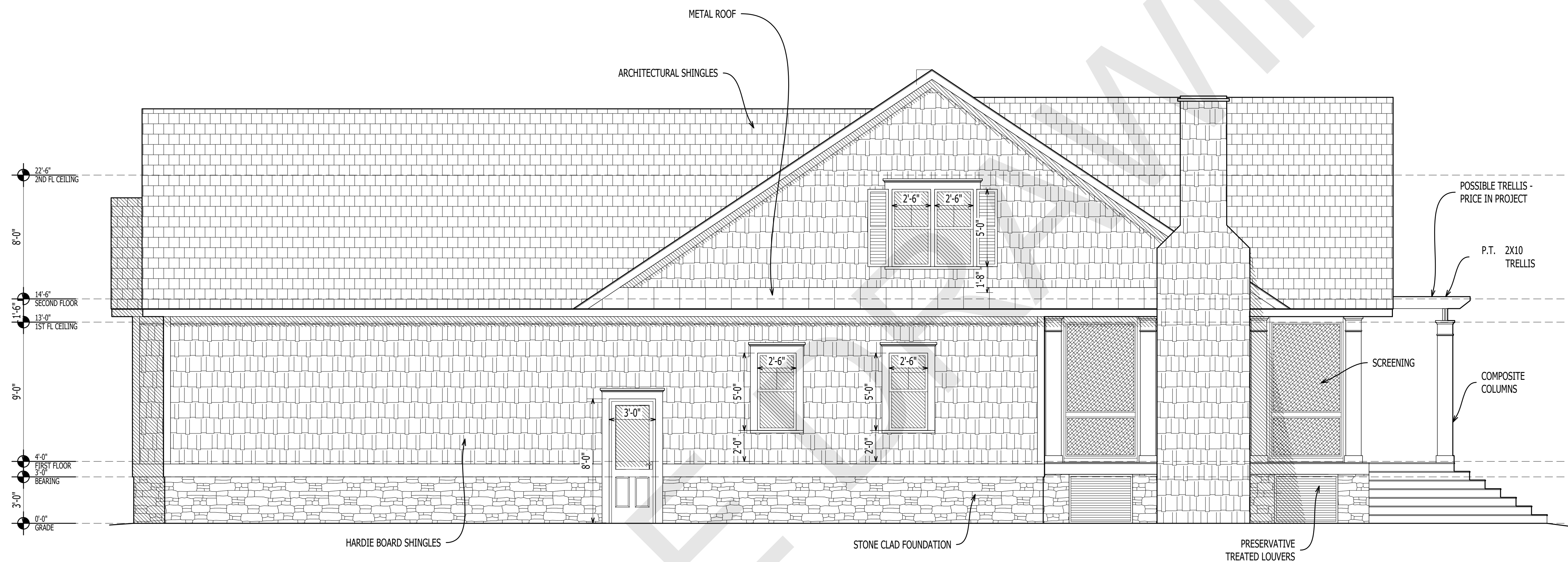
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A-203

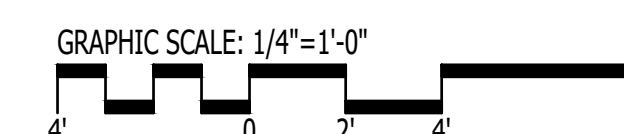
ELEVATION

1806 BRICES CREEK



1
A-204
EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"

NOTE:
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A-204

ELEVATION

1806 BRICES CREEK



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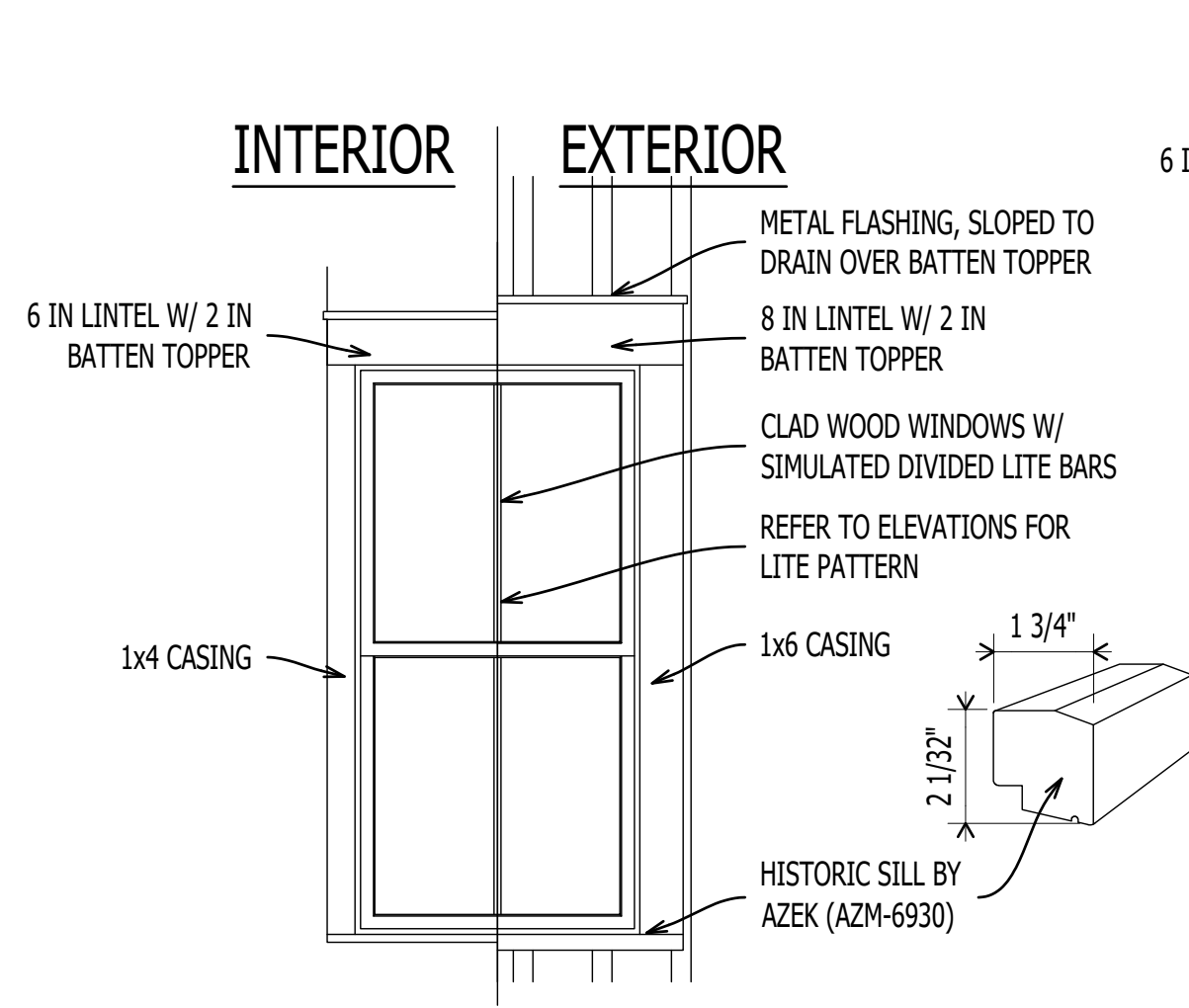
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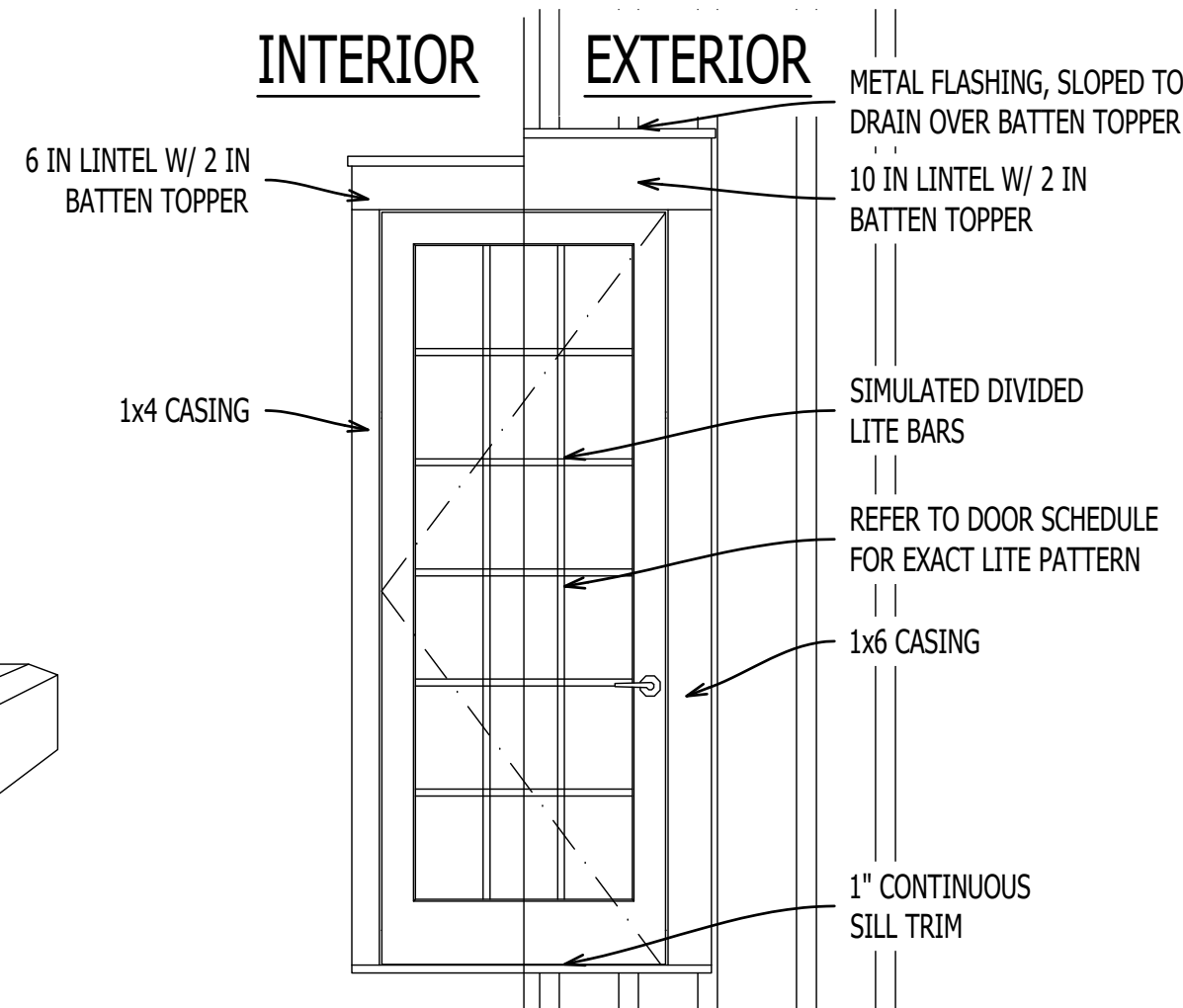
A-205

RENDERINGS

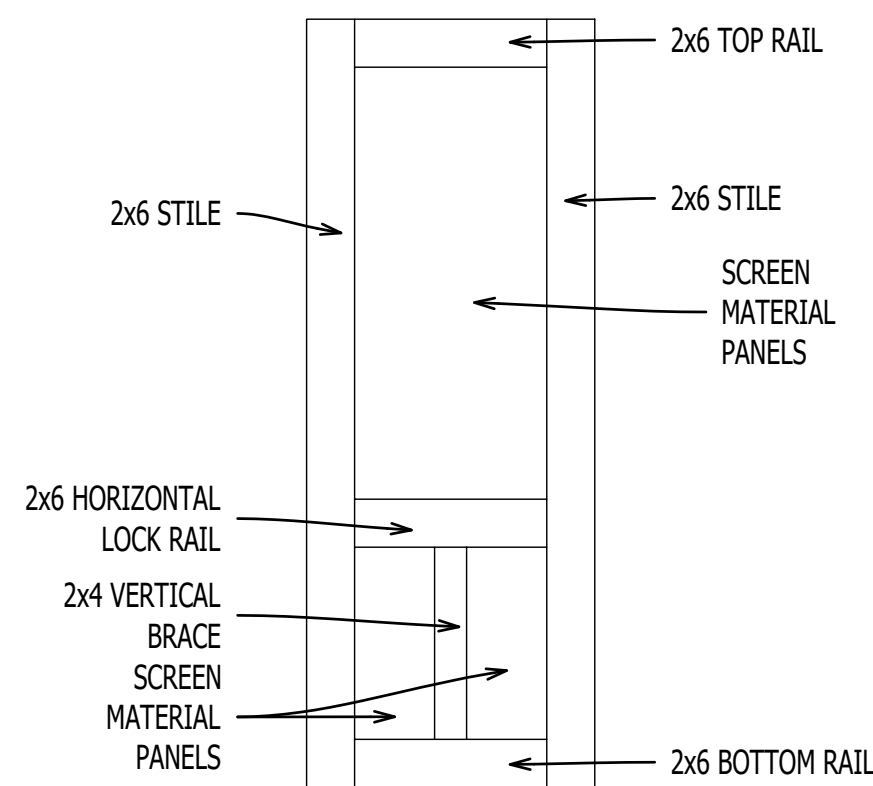
1806 BRICES CREEK



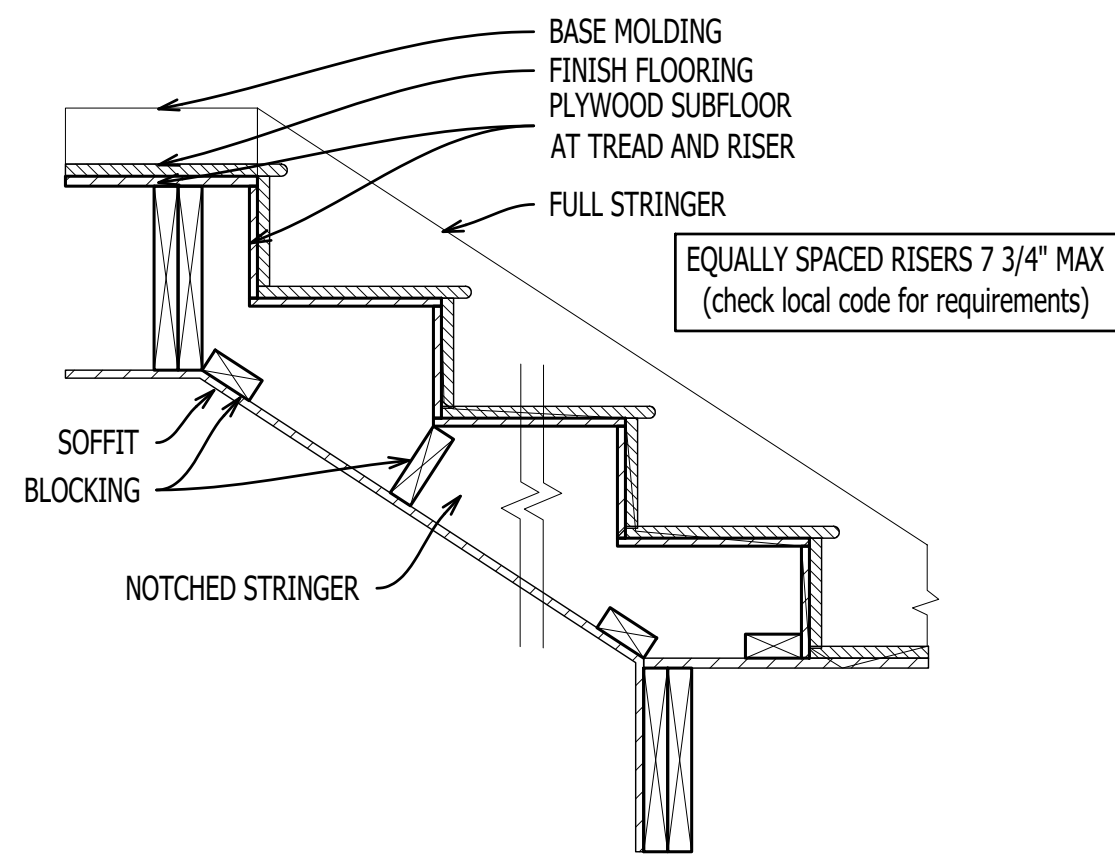
1 TYPICAL WINDOW DETAIL
A-301
Scale: 1/2" = 1'-0"



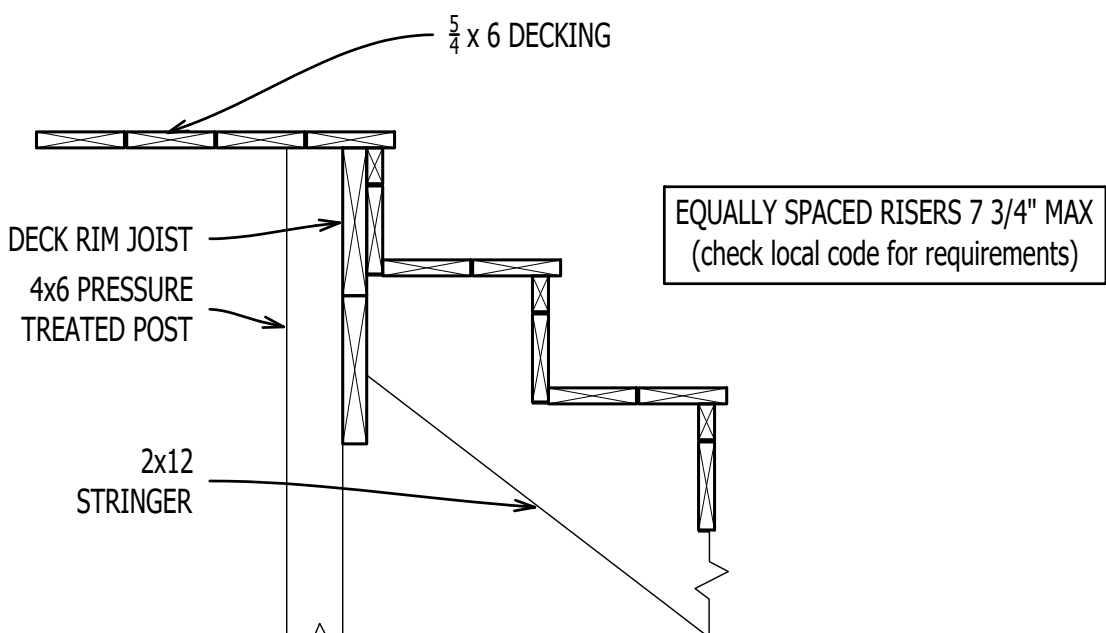
2 TYPICAL DOOR DETAIL
A-301
Scale: 1/2" = 1'-0"



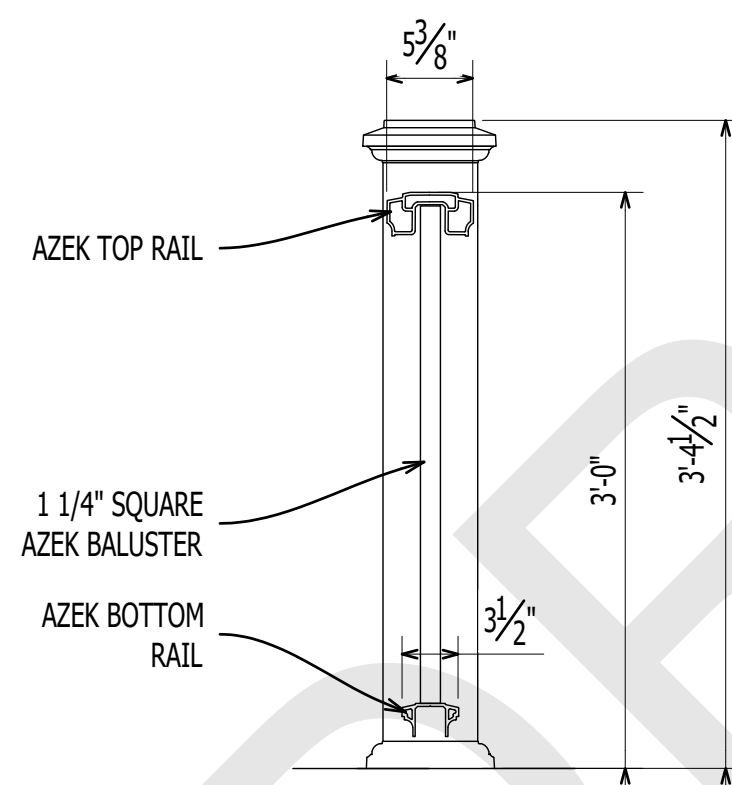
3 SCREEN DOOR - 1 OVER 2 PANELS
A-301
Scale: 1/2" = 1'-0"



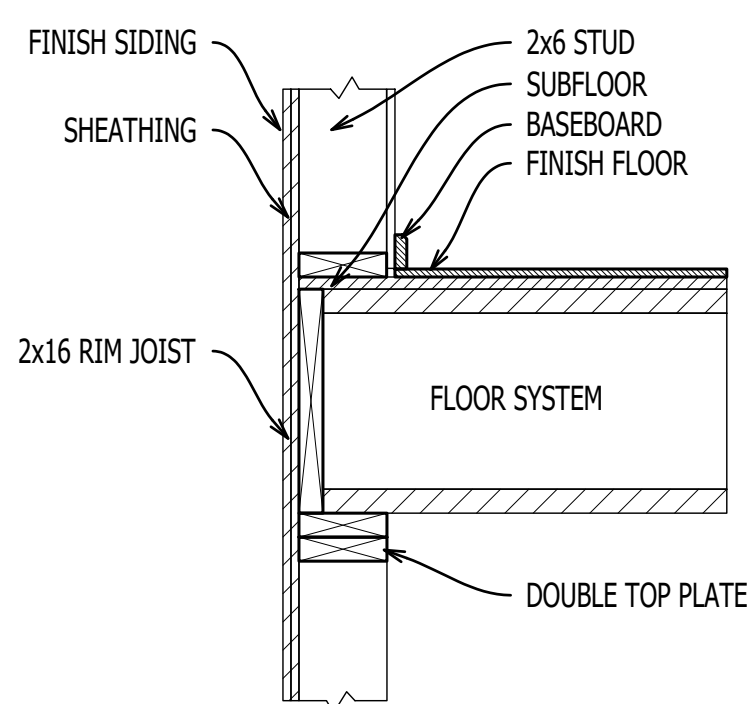
4 INTERIOR STAIR
A-301
Scale: 1" = 1'-0"



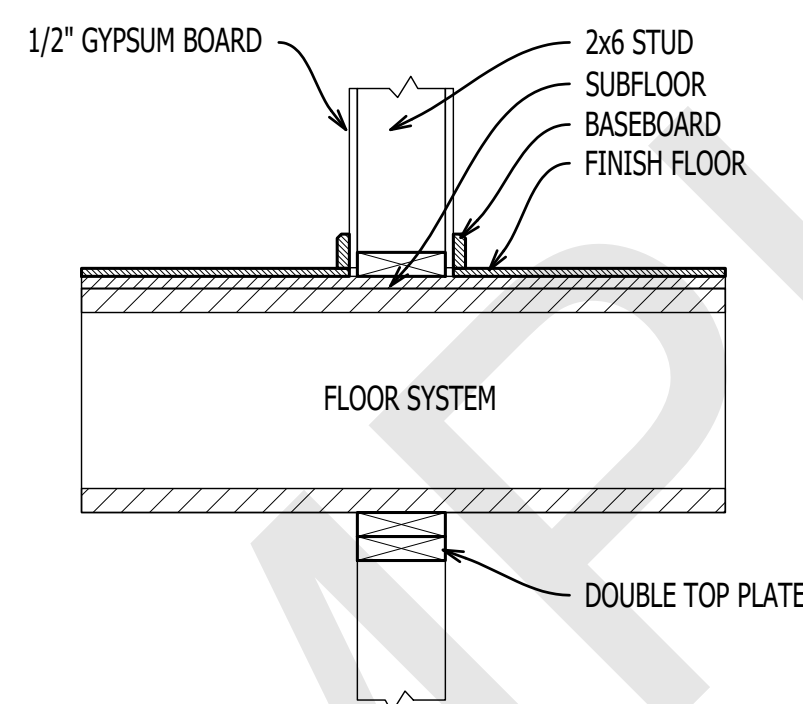
5 EXTERIOR STAIR
A-301
Scale: 1" = 1'-0"



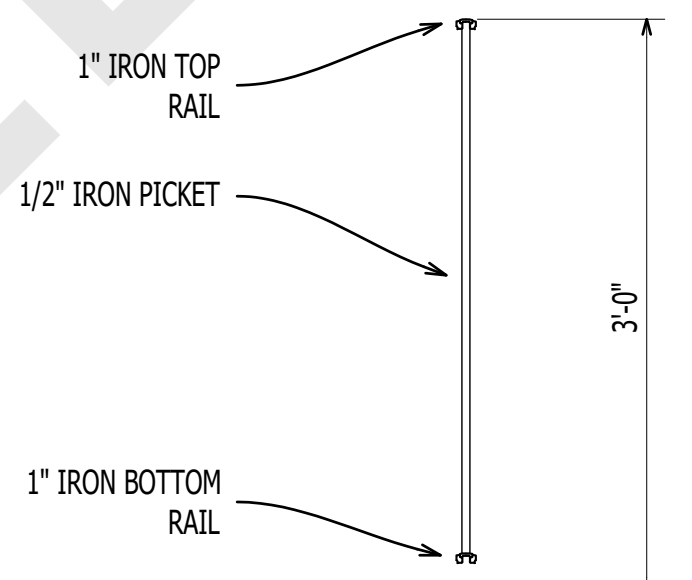
6 AZEK RAILING
A-301
Scale: 1" = 1'-0"



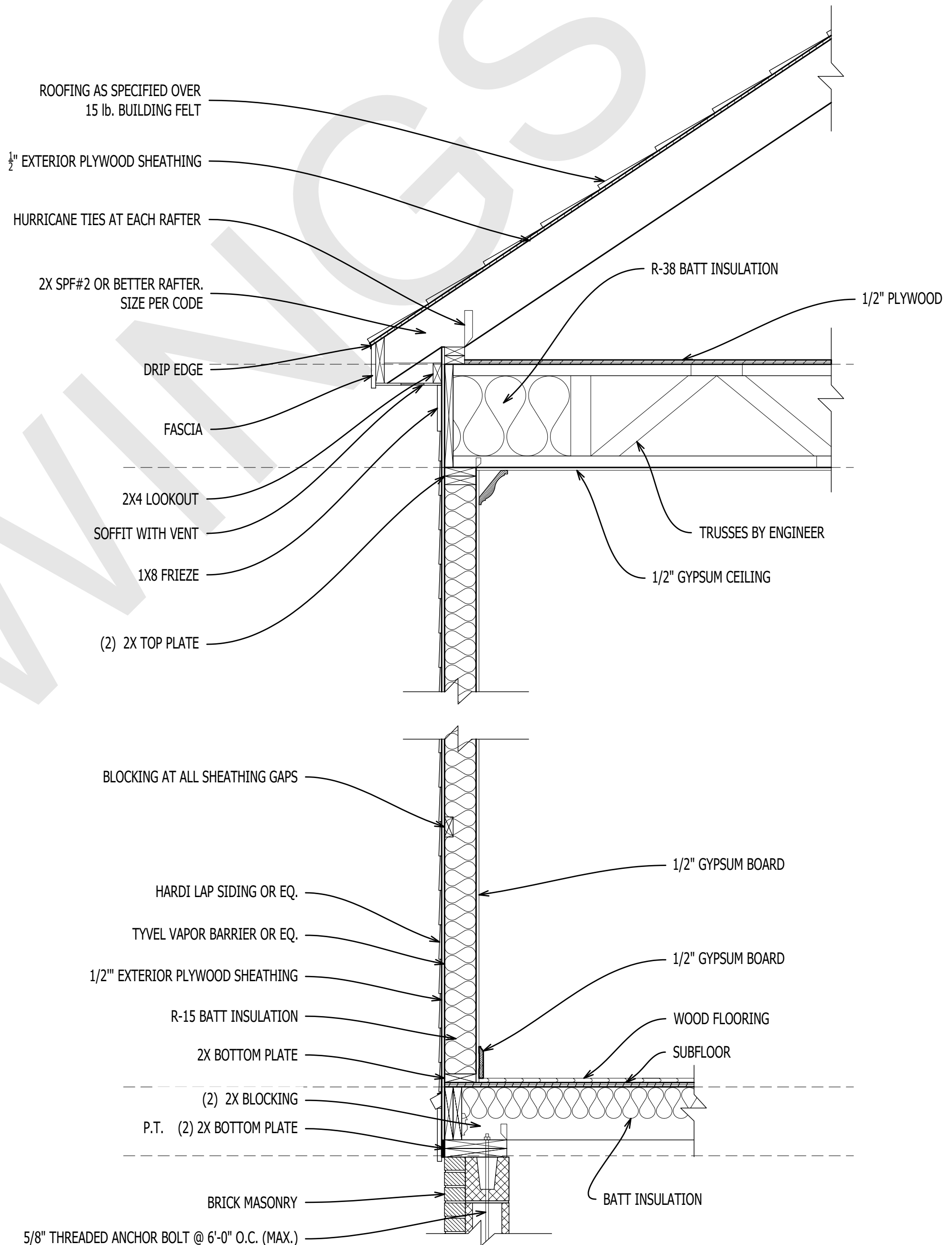
7 STANDARD FLOOR TRANSITION
A-301
Scale: 1" = 1'-0"



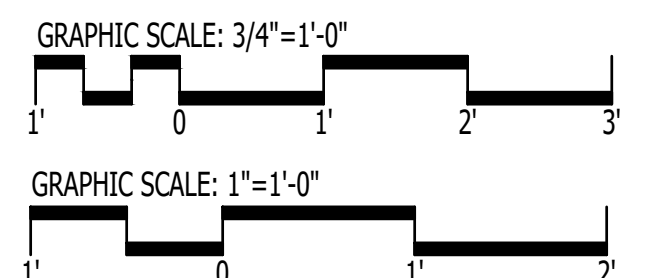
8 STANDARD INTERIOR FLOOR TRANSITION
A-301
Scale: 1" = 1'-0"



9 IRON RAILING
A-301
Scale: 1" = 1'-0"



10 WALL SECTION
A-301
Scale: 3/4" = 1'-0"



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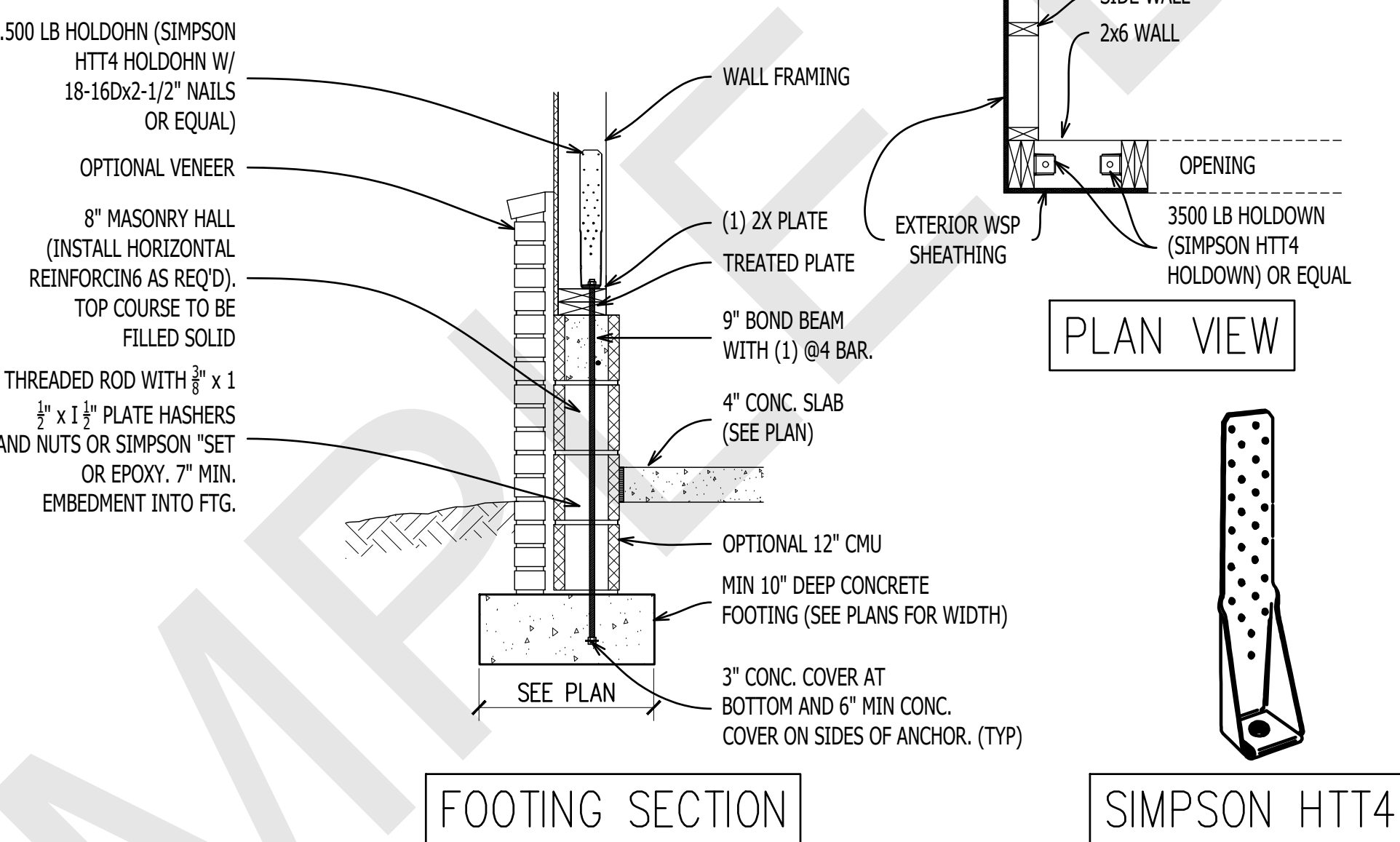
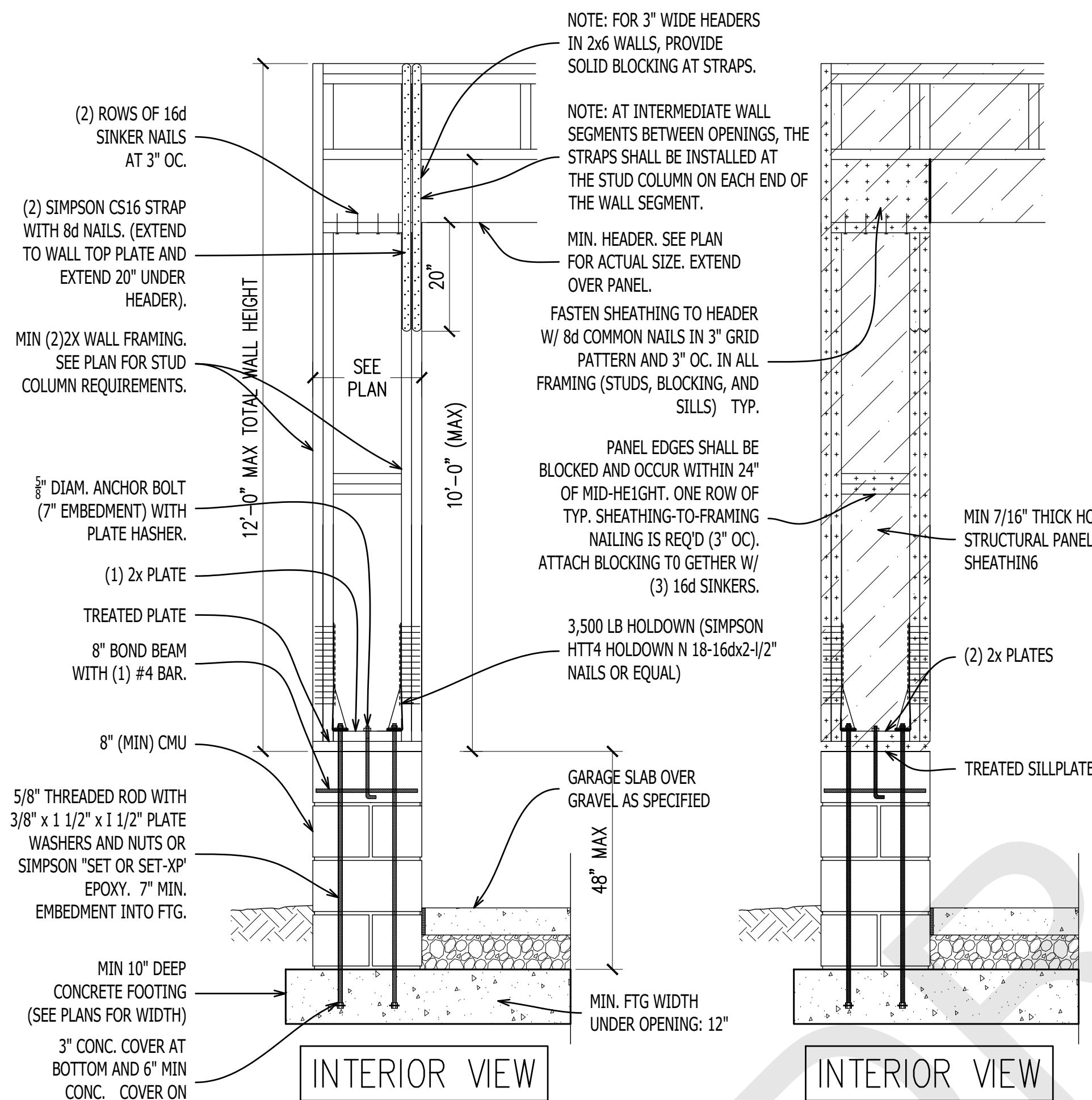
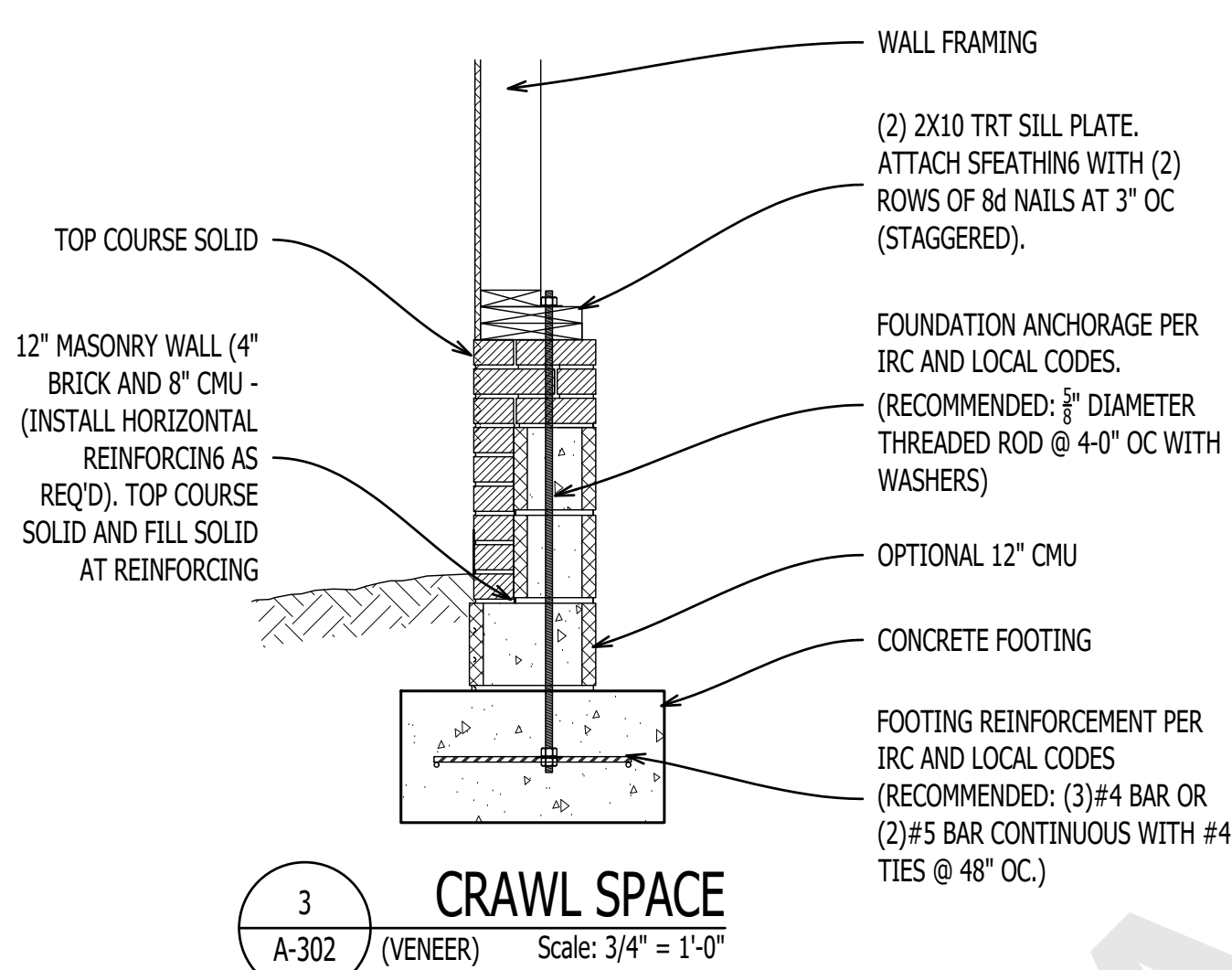
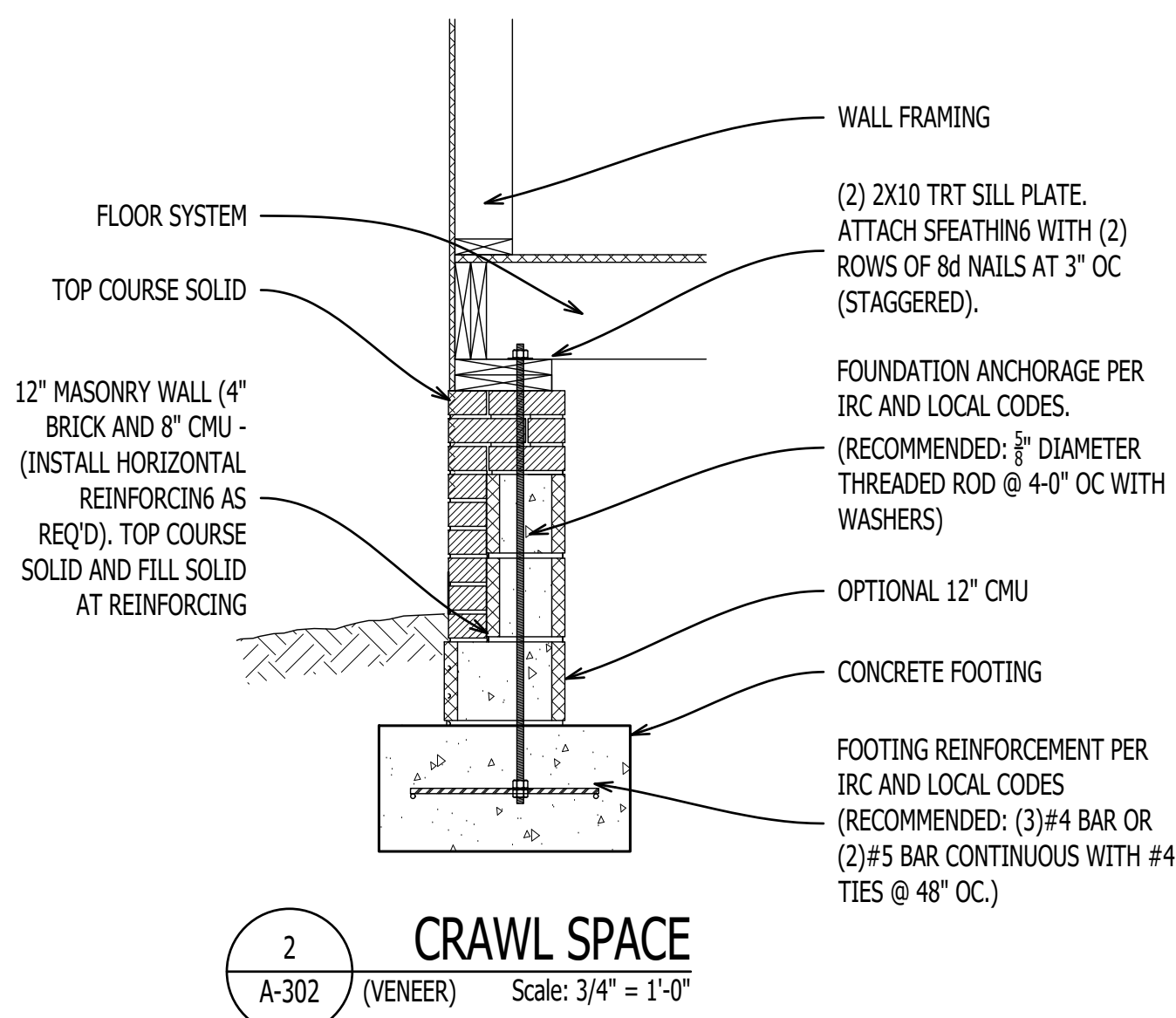
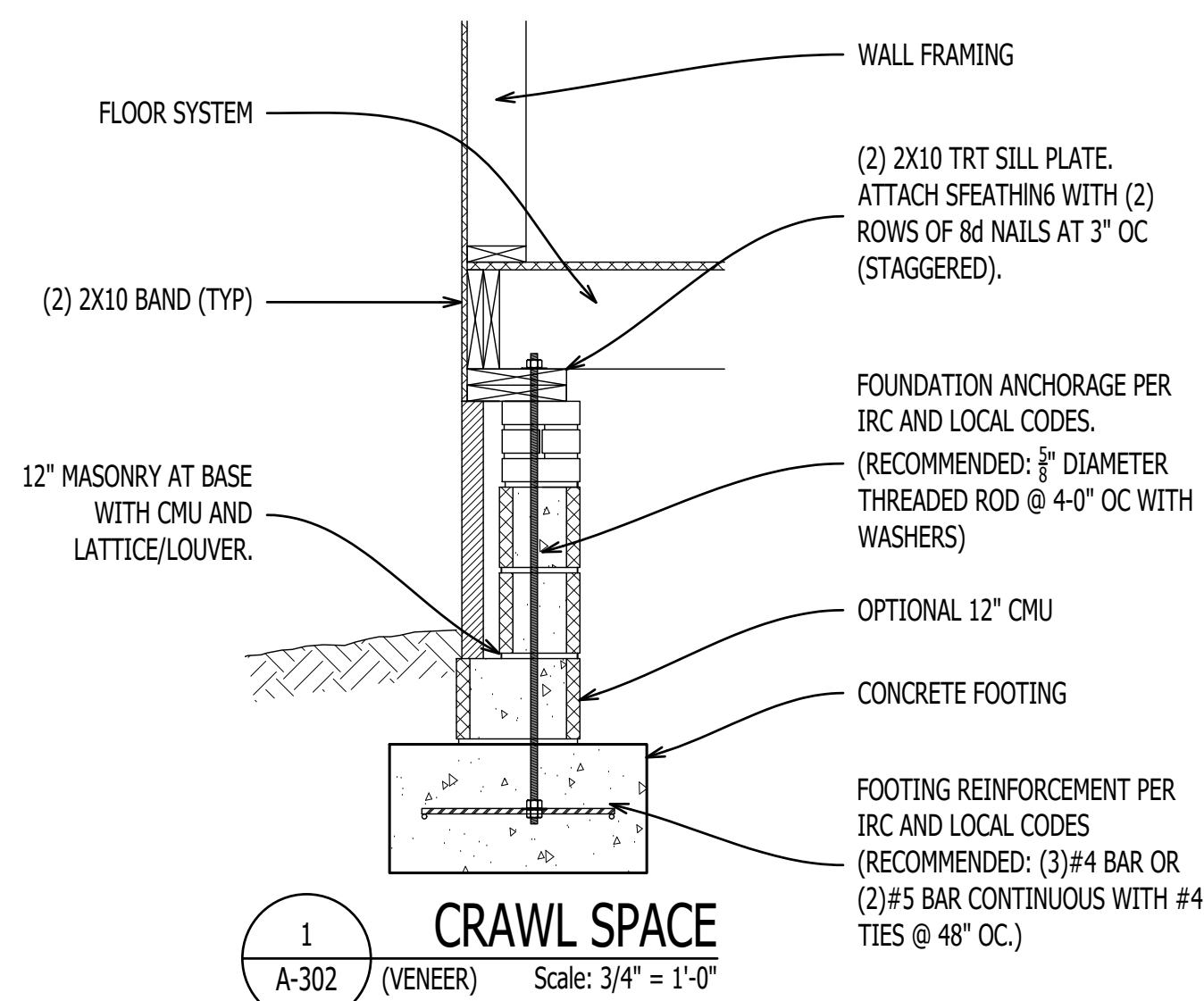
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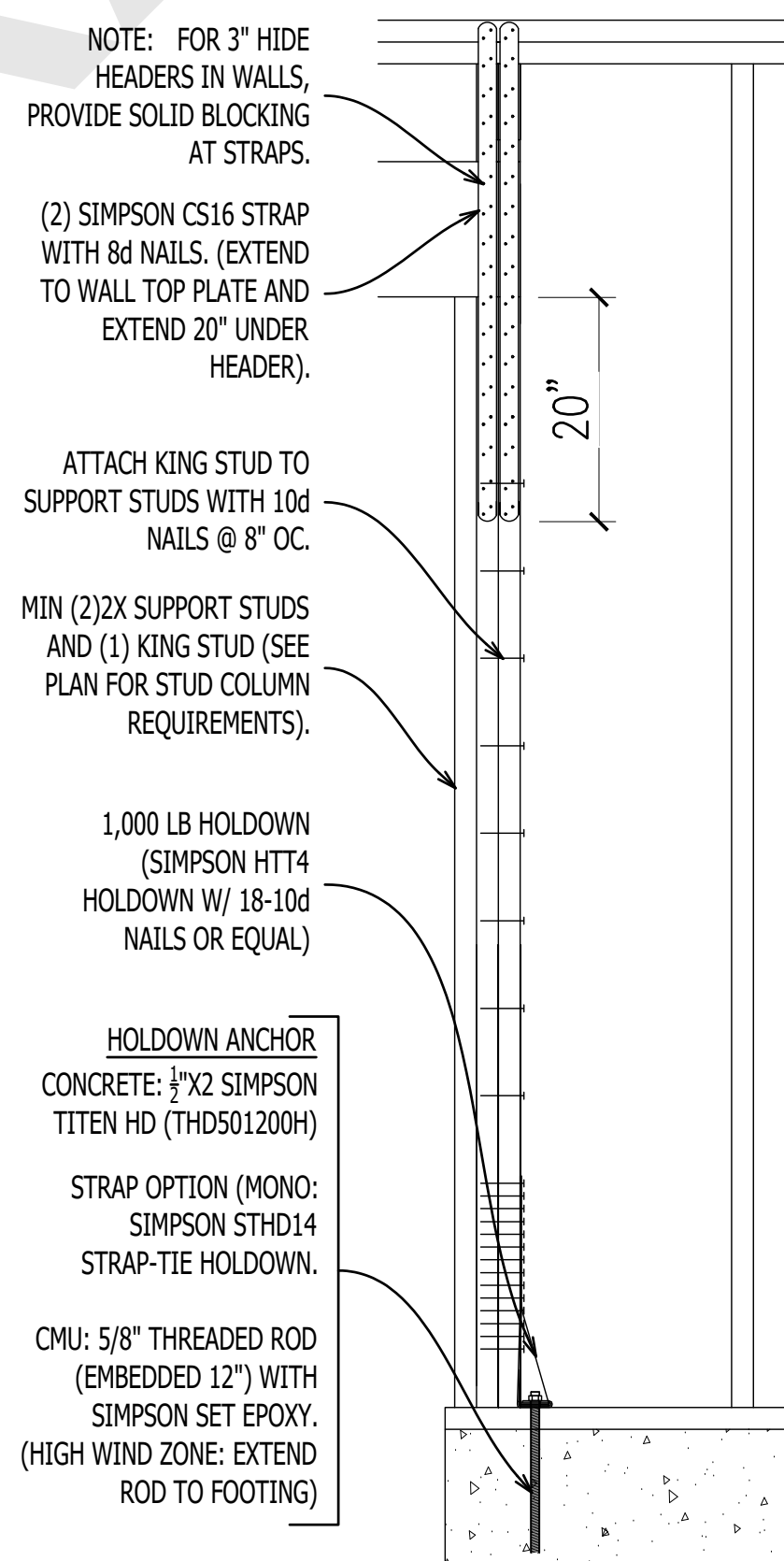
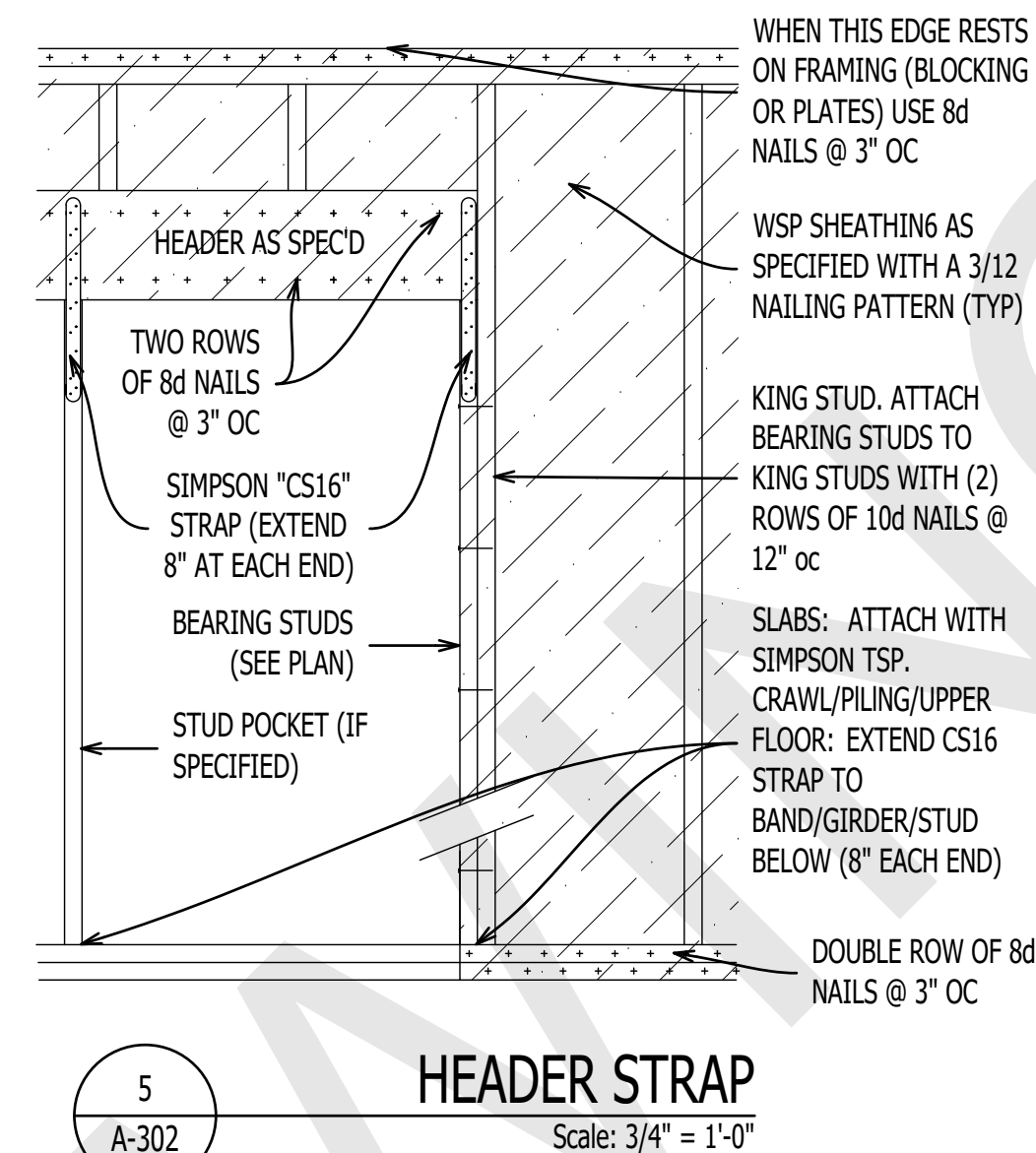
A-301

DETAILS

1806 BRICES CREEK



4 APA PORTAL FRAME W/ HOLD-DOWNS
DETAIL AND APPLICATION BASED ON APA TT-100F WITH USE OF TABLE 1 FOR APA PORTAL FRAME WITH HOLD-DOWN CAPACITIES. Scale: 3/4" = 1'-0"

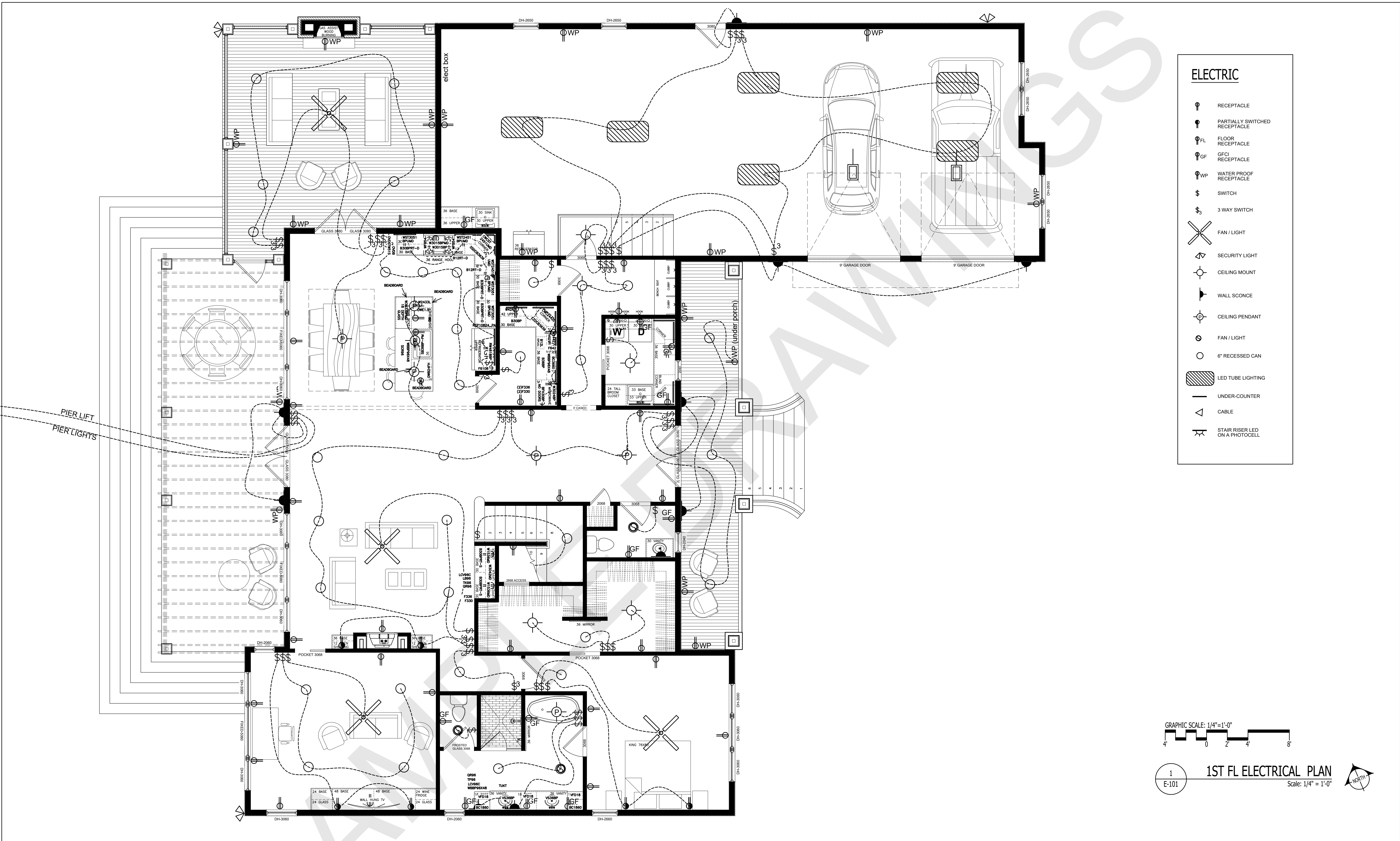


6 END CONDITION DETAIL A-302
(FOR USE WITH SINGLE APA PORTAL FRAME CONDITION) DETAIL AND APPLICATION BASED ON APA TT-100F WITH USE OF TABLE 1 FOR APA PORTAL FRAME WITH HOLD-DOWN CAPACITIES. Scale: 3/4" = 1'-0"

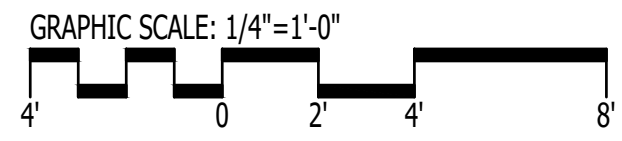
- GENERAL FRAMING NOTES**
- CONTRACTOR TO ENSURE ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA).
 - ALL STRUCTURAL INFORMATION SHOWN ARE FOR REFERENCE PURPOSES ONLY. ALL STRUCTURAL DESIGN WILL MEET OR EXCEED THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODES (I.B.C.) AND/OR LOCAL BUILDING CODES.
 - THE GENERAL CONTRACTOR SHALL HAVE A LOCAL LICENSED ENGINEER (P.E.) REVIEW THE STRUCTURAL DESIGN NEEDS OF THE STRUCTURE IN CONJUNCTION WITH SITE CONDITIONS, AND DESIGN ALL FRAMING ELEMENTS SUCH AS JOISTS, BEAMS, GIRDERS, HEADERS, COLUMNS AND RAFTERS. CONSTRUCTION SHALL NOT BEGIN WITHOUT SAID REVIEW AND DELIVERY OF ENGINEERED PLANS BY THE P.E.
 - THE CONTRACTOR WILL REVIEW THE PLANS, ELEVATION AND DETAILS, AND ADVISE THE OWNER AND/OR DESIGNER SHOULD ANY CONDITIONS REQUIRE MODIFICATIONS TO THE DESIGN INTENT SHOWN ON THE PLANS, SECTIONS OR EXTERIOR ELEVATIONS.
 - IF "ENGINEERED LUMBER" OR TRUSSES WILL BE USED, THEY WILL BE DESIGNED AND APPROVED BY A P.E.
 - INSTALL SOLID BRACING, OR EQUAL, AT ALL OUTSIDE CORNERS.
 - PROVIDE DOUBLE JOISTS UNDER ALL NON-LOAD BEARING PARTITIONS PARALLEL TO THE SPAN OF THE FLOOR JOISTS.
 - PROVIDE DIAGONAL OR SOLID BLOCKING AT 8' O.C. MAXIMUM IN ALL FLOOR JOISTS, AND SOLID BLOCKING BETWEEN FLOOR JOIST UNDER WALLS THAT ARE PERPENDICULAR TO THE FLOOR JOISTS.
 - INSTALL A CONTINUOUS ALUMINUM TERMITE SHIELD BETWEEN ANY WOOD AND CONCRETE SURFACES.
 - ALL STRUCTURAL WOOD USED IN THE CONSTRUCTION OF STEPS, PORCHES AND DECKS, SHALL BE PRESSURE TREATED OR EQUAL.
 - ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
 - INSTALL HURRICANE CONNECTIONS AS REQUIRED BY LOCAL CONDITIONS AND BUILDING CODES.
 - ALL KNEE WALL CONSTRUCTION TO BE DIAGONALLY BRACED AT 4' O.C. MAXIMUM.

- GENERAL FOUNDATION NOTES**
- ALL CONSTRUCTION INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. GENERAL CONTRACTOR SHALL HAVE A LOCAL LICENSED STRUCTURAL ENGINEER (P.E.) REVIEW ACTUAL SITE CONDITIONS AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS FOOTINGS, REINFORCEMENT, FOUNDATION WALLS, PIERS AND SLAB TO ENSURE IT MEETS LOCAL BUILDING CODES.
 - GENERAL CONTRACTOR SHALL INSPECT SITE AND EXCAVATED CONDITIONS PRIOR TO STARTING ACTUAL CONSTRUCTION. GENERAL CONTRACTOR SHALL NOTIFY THE OWNER OR P.E. OF ANY NON-TYPICAL CONDITIONS REGARDING SOILS, GROUND WATER, OR ANY OTHER ISSUE WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN.
 - GENERAL CONTRACTOR IS TO REVIEW THE PLANS, ELEVATIONS AND DETAILS FOR DESIRED ELEVATION OF FINISH FLOOR ABOVE TYPICAL GRADE. ADVISE OWNER SHOULD ANY SITE CONDITIONS REQUIRE MODIFICATIONS TO THE DESIGN INTENT INDICATED ON PLANS, SECTIONS, OR EXTERIOR ELEVATIONS, (I.E., NUMBER OF STEPS FROM FINISH GRADE TO THE FIRST FLOOR, OR NUMBER OF STEPS BETWEEN THE GARAGE FLOOR TO THE FIRST FLOOR OF THE HOUSE).
 - CONTRACTOR TO INSTALL ALUMINUM SHEET METAL TERMITE SHIELDS CONTINUOUS BETWEEN ANY WOOD SURFACES THAT ARE EXPOSED TO CONCRETE SURFACES.
 - ALL CONCRETE WORK SHALL CONFORM TO APPROPRIATE ACI RATING. ALL DETAILING, FABRICATION, ACCESSORIES AND PLACEMENT OF REINFORCING SHALL CONFORM TO THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES. ANCHOR BOLTS FOR SILL PLATE ATTACHMENT TO CONFORM TO ASTM STANDARDS.
 - ALL POURED IN PLACE CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
 - ALL CONSTRUCTION ON FILL SOILS SHALL BE DESIGNED BY A P.E.
 - FOOTINGS MUST BE BELOW THE LOCAL FROST LINE. PROVIDE 12" MINIMUM COVER OF FOOTING, UNLESS LOCAL FROST DEPTH WARRANTS A GREATER DEPTH.

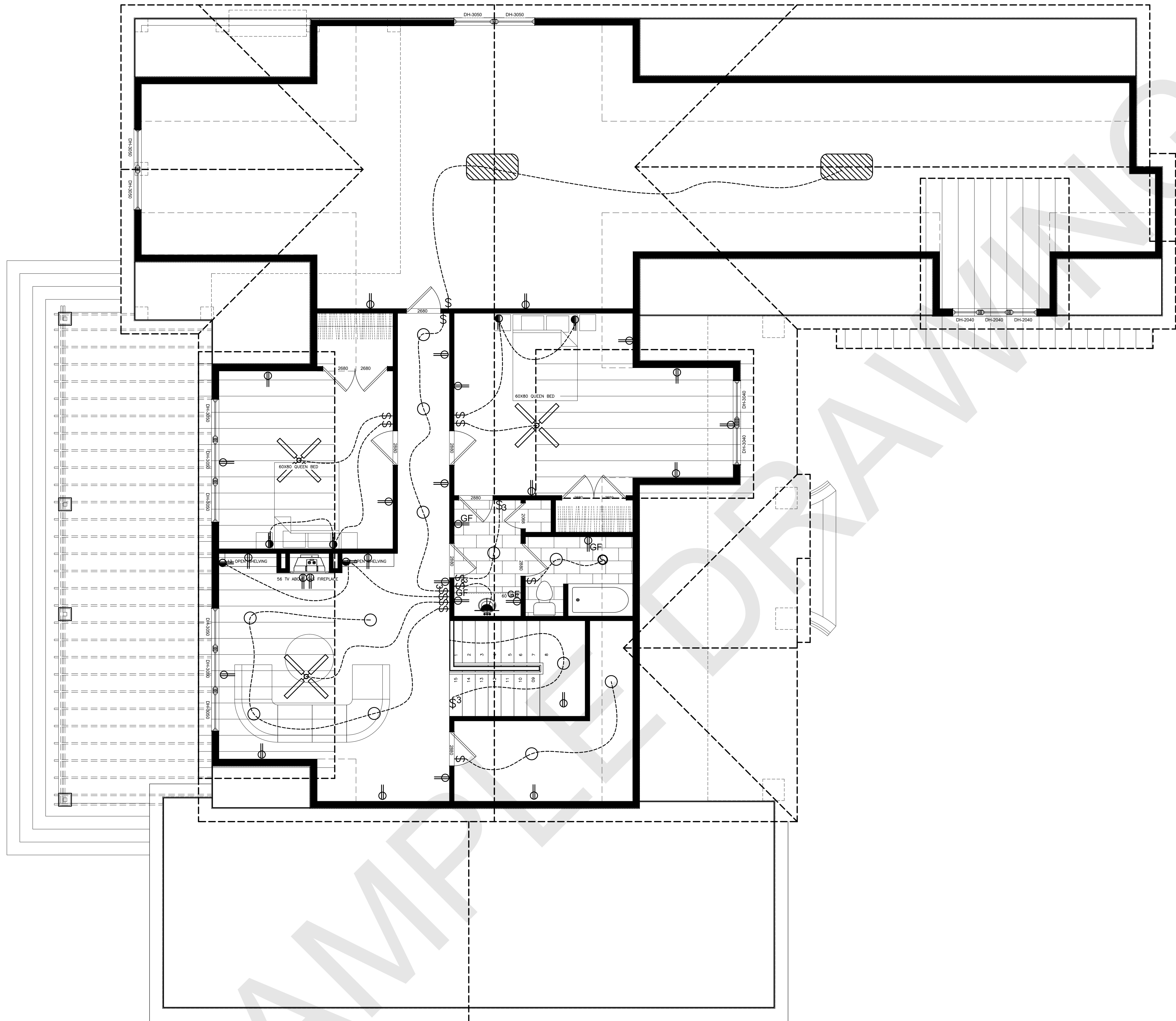




- ELECTRIC**
- RECEPTACLE
 - PARTIALLY SWITCHED RECEPTACLE
 - FLOOR RECEPTACLE
 - GFCI RECEPTACLE
 - WATER PROOF RECEPTACLE
 - SWITCH
 - 3 WAY SWITCH
 - FAN / LIGHT
 - SECURITY LIGHT
 - CEILING MOUNT
 - WALL SCONCE
 - CEILING PENDANT
 - FAN / LIGHT
 - 6" RECESSED CAN
 - LED TUBE LIGHTING
 - UNDER-COUNTER
 - CABLE
 - STAIR RISER LED ON A PHOTOCELL

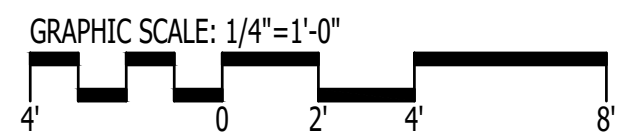


1 1ST FL ELECTRICAL PLAN
Scale: 1/4" = 1'-0"



ELECTRIC

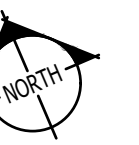
- RECEPTACLE
- PARTIALLY SWITCHED RECEPTACLE
- FLOOR RECEPTACLE
- GFCI RECEPTACLE
- WATER PROOF RECEPTACLE
- SWITCH
- 3 WAY SWITCH
- FAN / LIGHT
- SECURITY LIGHT
- CEILING MOUNT
- WALL SCONCE
- CEILING PENDANT
- FAN / LIGHT
- 6" RECESSED CAN
- LED TUBE LIGHTING
- UNDER-COUNTER
- CABLE
- STAIR RISER LED ON A PHOTOCELL



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2ND FL ELECTRICAL PLAN

Scale: 1/4" = 1'-0"



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

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CUSTOM HOUSE

NEW BERN NC 28560

THIS PLAN HAS BEEN PREPARED TO MEET TOP PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING CONSTRUCTION. VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. VERIFY COMPLIANCE WITH ALL LOCAL CODES. PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS. HVAC & PLUMBING LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL MECH. CONTRACTOR OR ENGINEER TO ENSURE COMPLIANCE WITH LOCAL CODE AND THAT EQUIPMENT IS SIZED CORRECTLY FOR YOUR PARTICULAR REGION AND CONDITIONS. VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER.

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SECOND FLOOR
ELECTRICAL PLAN

1806 BRICES CREEK