

JEFFERSON - CUSTOM HOME

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The purchaser of this plan is responsible for compliance with all local building codes and for ensuring that the plan is correctly adapted to accommodate local site conditions. The purchaser should consult with a local architect or engineer regarding these matters.

Before construction begins, the purchaser should thoroughly review this plan with the contractor, verify all dimensions, and report to GO Architectural Design any errors, omissions or questions for clarification.

Before construction begins, the purchaser or contractor should verify all structural elements for the plan and site with a local engineer.

The exact size, reinforcement and depth of all concrete footings must be determined by local soil conditions and acceptable practices of construction. The bottom of all footings should extend below frostline. Before construction begins, the purchaser or contractor should verify the design of the footings and foundation with a local engineer.

The purchaser assumes all risks associated with adapting the plan to local sites affected by regional variations in climate, local site conditions, design needs, and building codes. GO Architectural Design has no responsibility for adapting the plan to local site conditions, design changes, construction means or methods, costs, workmanship, quality of materials or equipment utilized in the construction.

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ELECTRICAL SYMBOLS

- RECEPTACLE
- FLOOR RECEPTACLE
- GFCI RECEPTACLE
- WATER PROOF RECEPTACLE
- SWITCH
- 3 WAY SWITCH
- FAN / LIGHT
- SECURITY LIGHT
- CEILING MOUNT
- WALL SCONCE
- CEILING PENDANT
- FAN / LIGHT
-
- DIRECTIONAL PIN LIGHT
- FLUORESCENT
- UNDER-COUNTER
- INDIRECT TRAY LIGHTING
- CABLE
- TELEPHONE
- GARAGE DOOR OPENER W/ LIGHT

SHEET SCHEDULE

- G-101 TITLE SHEET
- C-101 SITE PLAN
- A-101 FIRST FLOOR PLAN
- A-102 SECOND FLOOR PLAN

GROSS SQUARE FOOTAGE

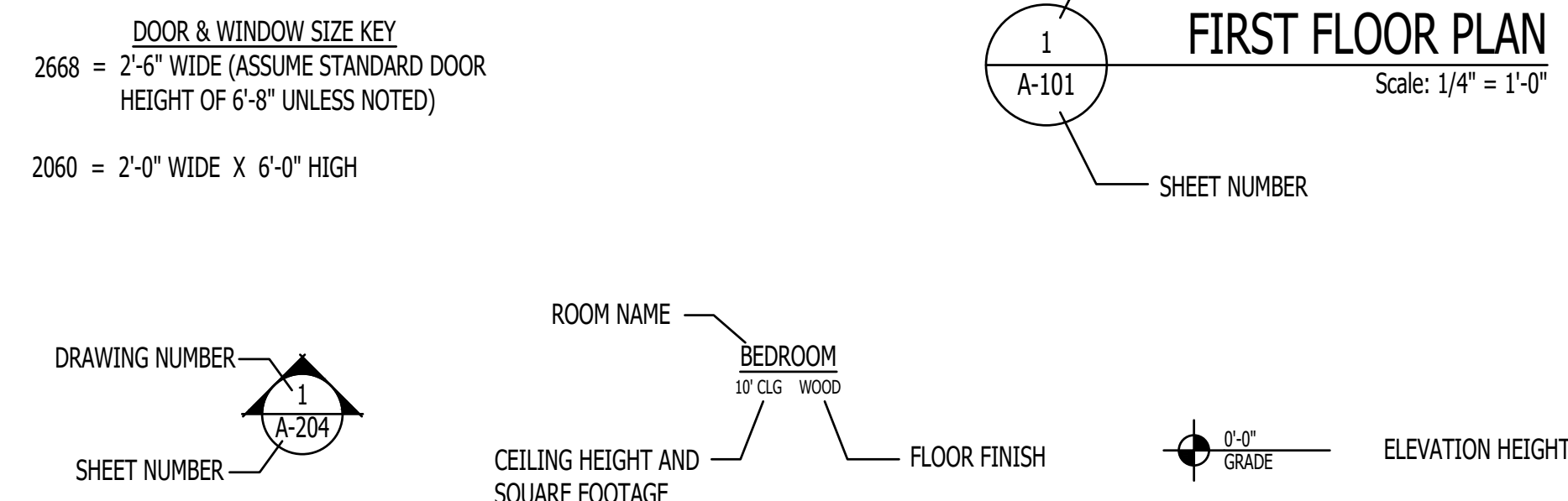
HEATED / COOLED

FIRST FLOOR PLAN	2,474 SF
SECOND FL PLAN ENTRY	1,275 SF
TOTAL	3,148 SF

NON HEATED

GARAGE 01	637 SF
COVERED PATIO	336 SF
SCREENED PORCH	256 SF
TOTAL	1,229 SF

KEYS & SYMBOLS



1202-A Pollock Street
 New Bern, NC 28560
 252-633-0322
 www.goarchdesign.com

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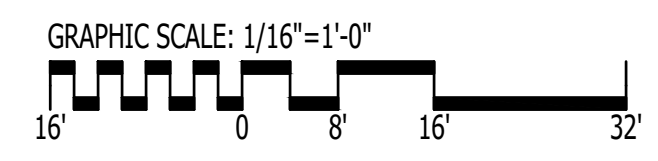
JEFFERSON CUSTOM HOME
 4912 SPRING GREEN PASS, NEW BERN, NC 28560

THIS PLAN HAS BEEN PREPARED TO MEET TOP PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING CONSTRUCTION. VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. VERIFY COMPLIANCE WITH ALL LOCAL CODES. PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS. HVAC & PLUMBING LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL MECH. CONTRACTOR OR ENGINEER. TO ENSURE COMPLIANCE WITH LOCAL CODE AND THAT EQUIPMENT IS SIZED CORRECTLY FOR YOUR PARTICULAR REGION AND CONDITIONS. VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER.

G-101

TITLE SHEET

09.18.2023
 4912 SPRING GREEN PASS



1
C-101

SITE PLAN
Scale: 1/16" = 1'-0"



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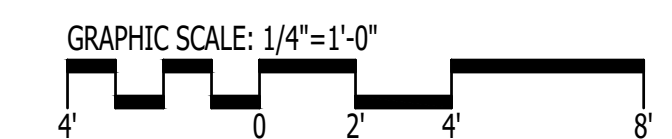
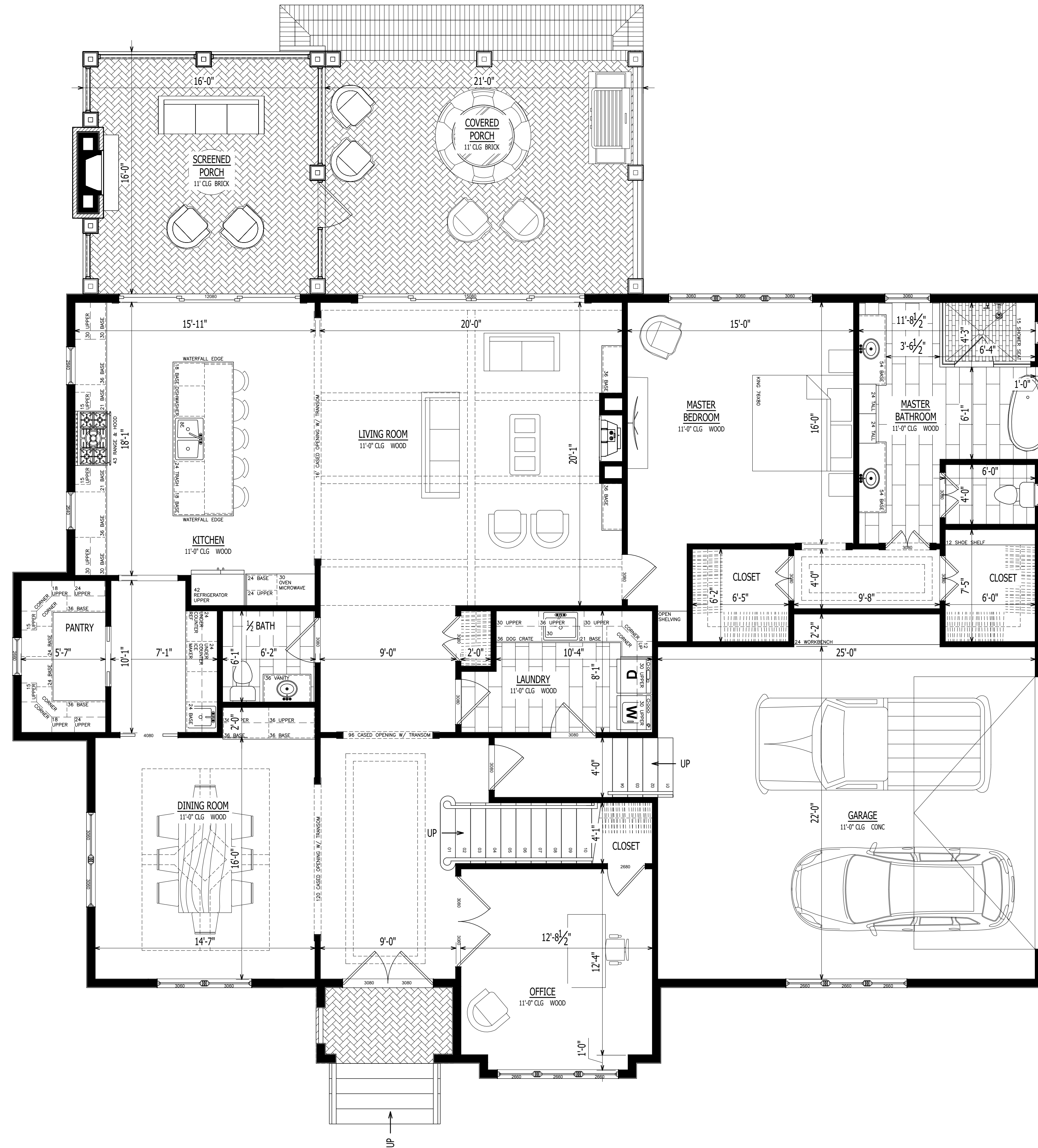
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1
C-101

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SITE PLAN
09.18.2023
4912 SPRING GREEN PASS

GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF STUD
2. ALL EXTERIOR WALLS - 2X6 WOOD STUD @ 16" O.C.
3. ALL INTERIOR WALLS - 2X4 WOOD STUD @ 16" O.C.
4. 1/2" PAINTED GYPSUM BOARD ON ALL WALLS AND CEILING
5. BATHROOMS TO RECEIVE 3/8" MOISTURE RESISTANT GYPSUM BOARD ON ALL SURFACES
6. SEAL ALL JOINTS AND OPENINGS WITH CONTINUOUS SILICONE CAULKING
7. INTERIOR DOORS TO BE PAINTED 8' PONDEROSA PINE P82-1 3/8" RAISED PANEL OR SIMILAR
8. EXTERIOR COLUMNS TO BE 1' COMPOSITE SQUARE
9. PORCH DECKING TO BE 1X4 T&G KILN DRIED PAINTED OR STAINED DECKING
10. RAILING TO BE T-13 ALUMINUM RAILING SYSTEM BALUSTRADE AND PICKETS ON FRONT ELEVATION AND CABLE RAIL SYSTEM ON THE WATER SIDE.
11. SHOWER - MOSAIC TILE FLOOR, TILE WALLS, FRAME-LESS GLASS ENCLOSURE
12. CONFIRM ALL COLOR AND MATERIAL CHOICES WITH OWNER BEFORE ORDERING



1 FIRST FLOOR PLAN
A-101 Scale: 1/4" = 1'-0"



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FIRST FLOOR PLAN

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