

# CUSTOM HOME



KEYS & SYMBOLS

DOOR & WINDOW SIZE KEY

2'6" = 2'-6" WIDE (ASSUME STANDARD DOOR HEIGHT OF 6'-8" UNLESS NOTED)

2060 = 2'-0" WIDE X 6'-0" HIGH

DRAWING NUMBER

SHEET NUMBER

ROOM NAME

CEILING HEIGHT AND SQUARE FOOTAGE

DRAWING NUMBER

SHEET NUMBER

ELEVATION HEIGHT

FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

ELECTRICAL LEGEND

RECEPTACLE

FLOOR RECEPTACLE

GFCI RECEPTACLE

WATER PROOF RECEPTACLE

SWITCH

3 WAY SWITCH

SECURITY LIGHT

CEILING MOUNT

WALL SCONCE

CEILING PENDANT

FAN / LIGHT

6" RECESSED CAN

DIRECTIONAL PIN LIGHT

FLUORESCENT

UNDER-COUNTER

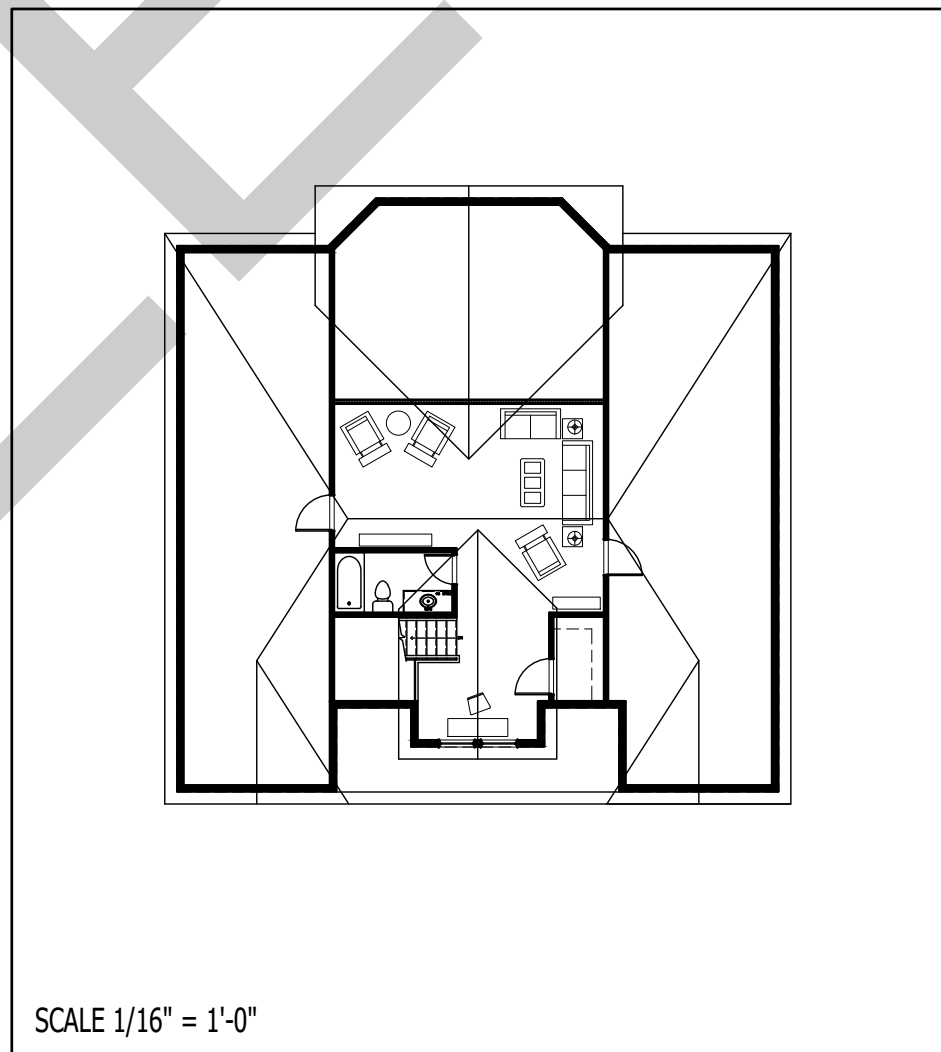
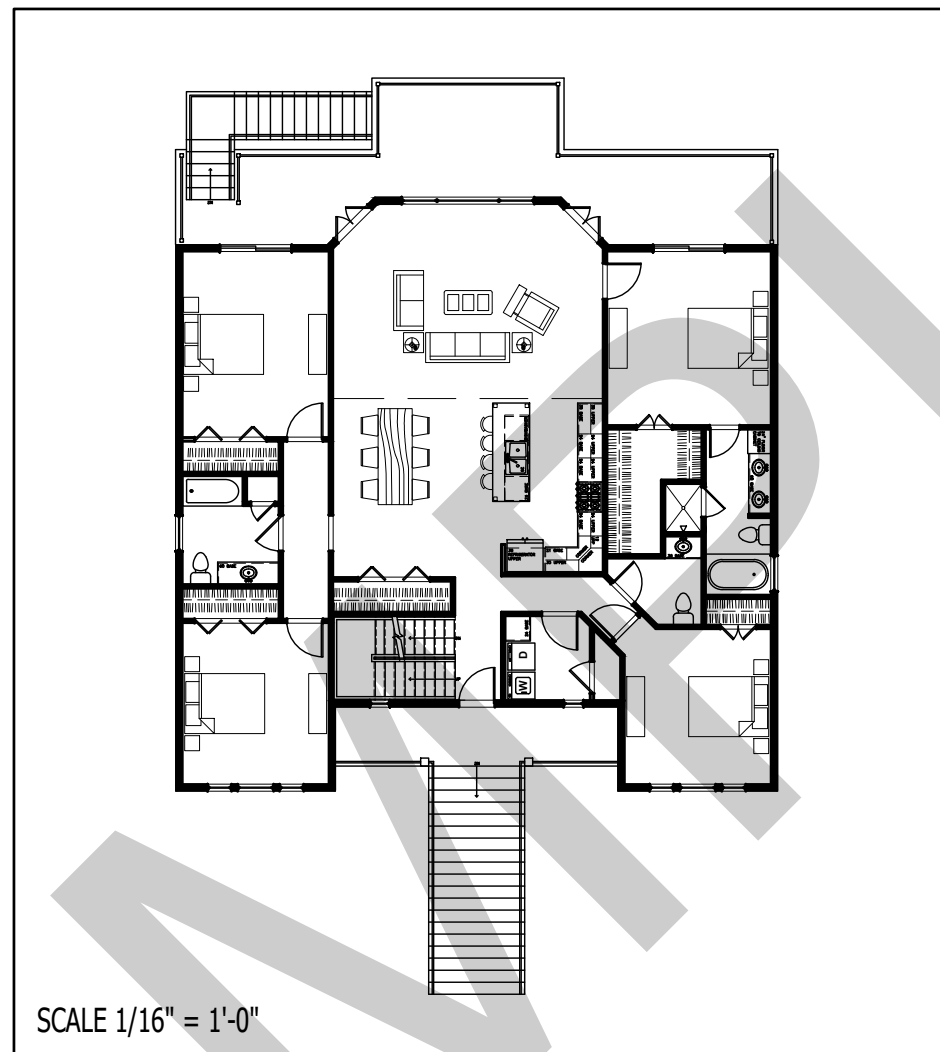
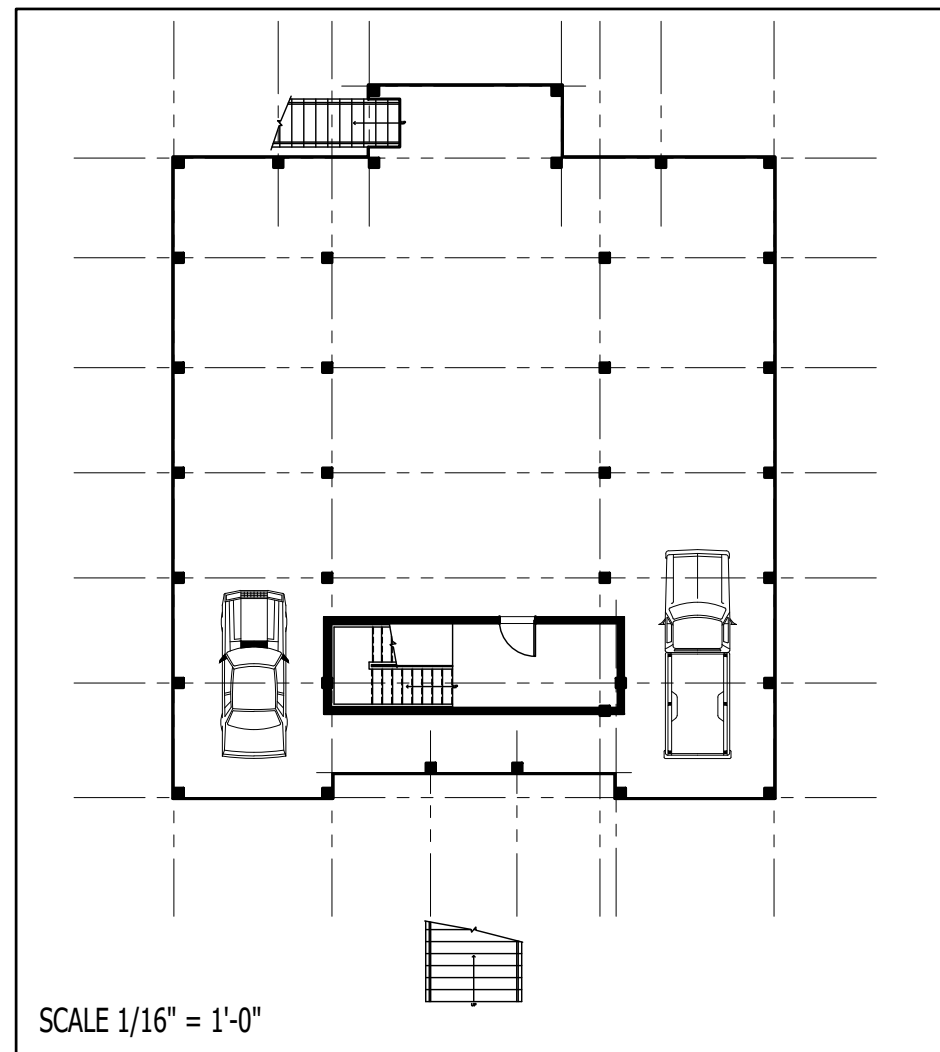
INDIRECT TRAY LIGHT

CABLE

GARAGE DOOR OPENER W/ LIGHT

SHEET SCHEDULE	
G-101	TITLE SHEET
C-101	SITE PLAN
A-101	GROUND LEVEL PLAN
A-102	FIRST FLOOR PLAN
A-103	SECOND FLOOR PLAN
A-104	ROOF PLAN
A-105	FOUNDATION PLAN
A-106	1ST FLOOR FRAMING PLAN
A-107	2ND FLOOR FRAMING PLAN
A-108	ROOF FRAMING PLAN
A-201	ELEVATION
A-202	ELEVATION
A-203	ELEVATION
A-204	ELEVATION
A-205	ENLARGED PLANS/INT. ELEV.
A-301	BUILDING SECTION
A-302	WALL SECTION
E-101	ELECTRICAL PLANS
E-102	ELECTRICAL PLANS

NET SQUARE FOOTAGE	
NON HEATED	
FRONT PORCH	115 SF
DECK	395 SF
HEATED / COOLED	
GARAGE LEVEL	96 SF
FIRST FLOOR PLAN	1,970 SF
SECOND FLOOR PLAN	498 SF
TOTAL	2,564 SF

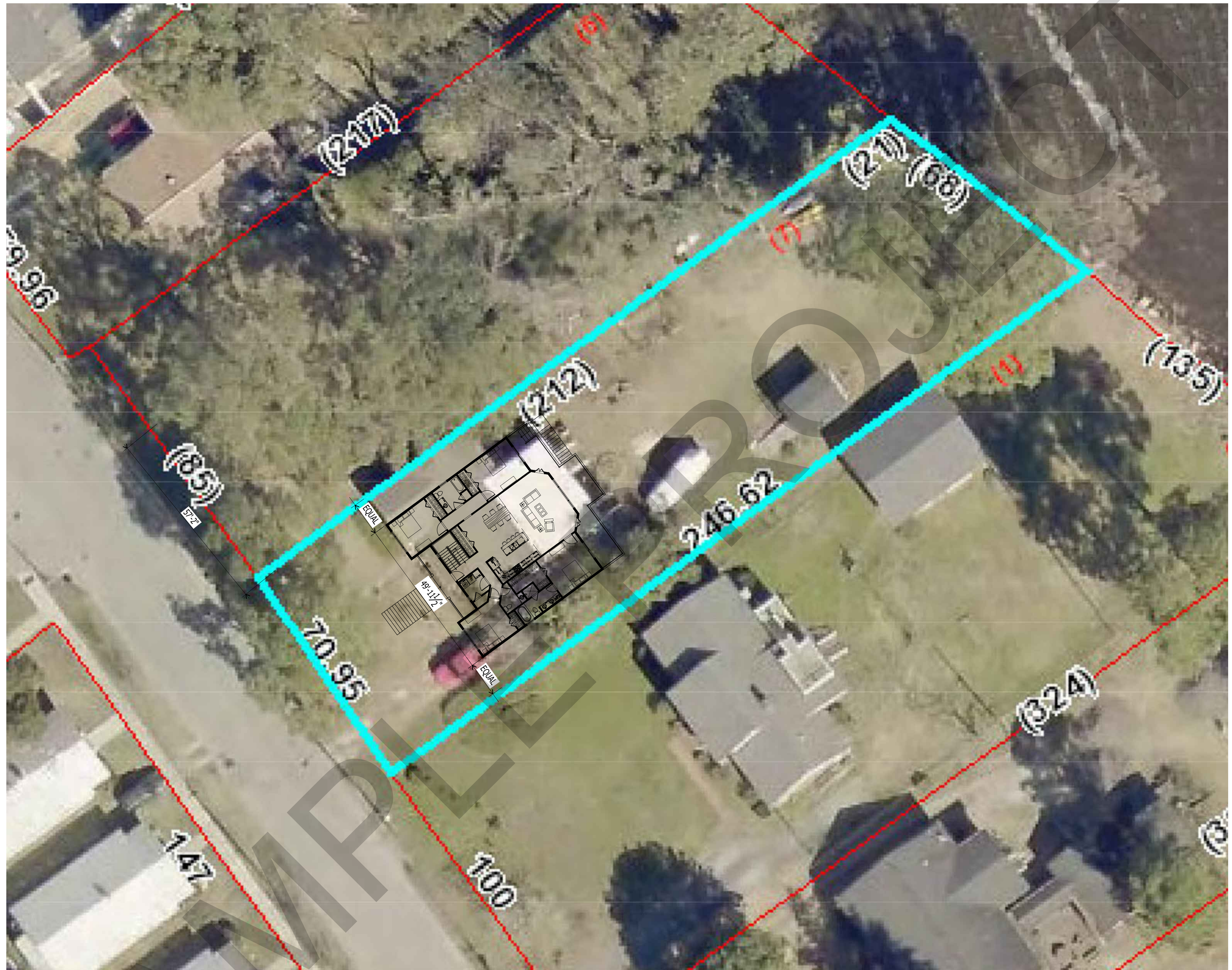


GRAPHIC SCALE: 1/32"=1'-0"

GRAPHIC SCALE: 1/8"=1'-0"

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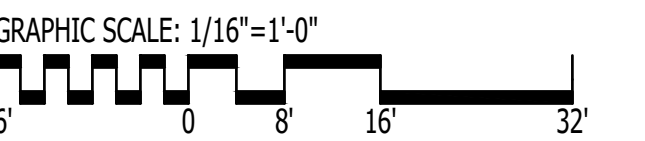




1  
C-101

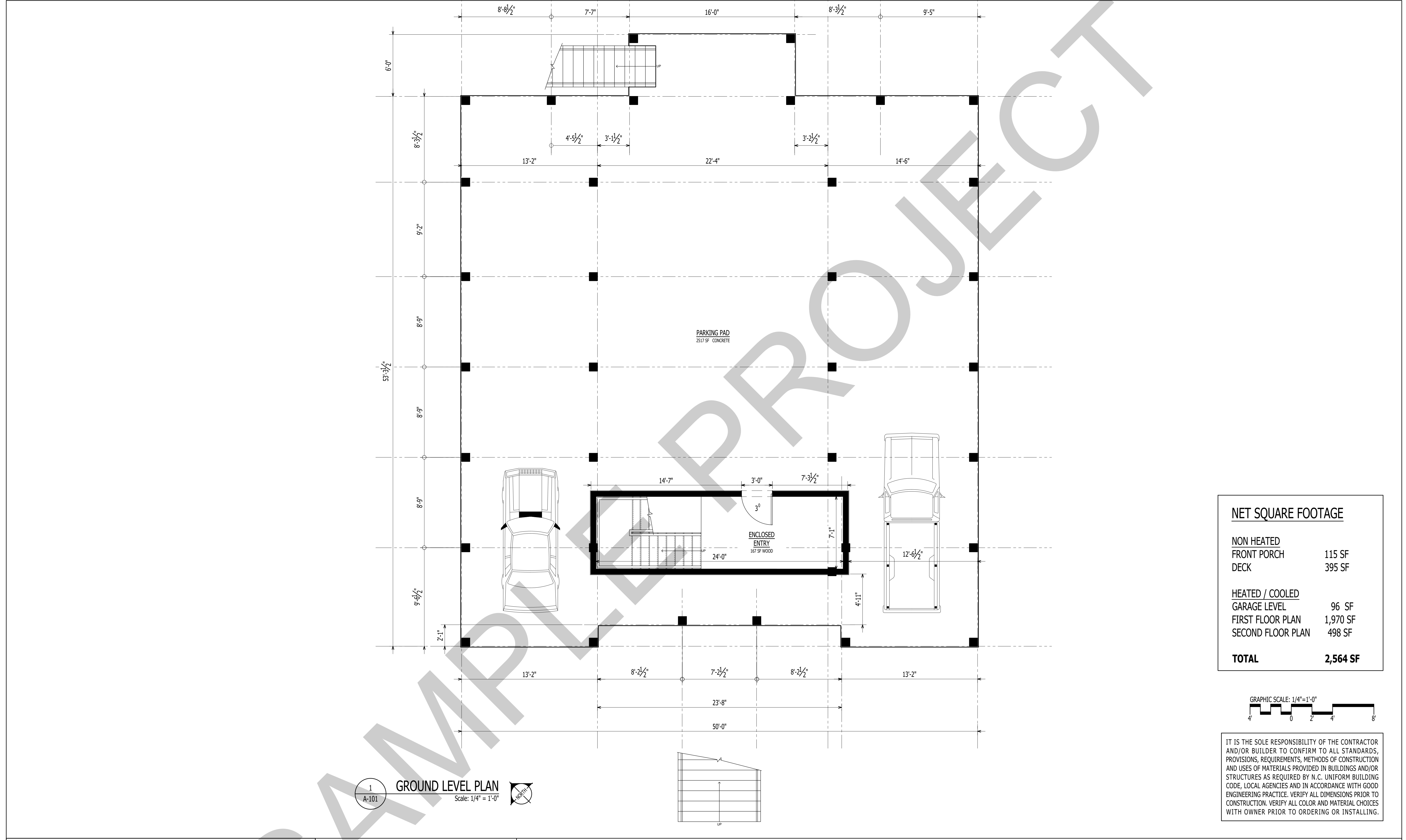
**SITE PLAN**  
Scale: 1/16" = 1'-0"

NORTH



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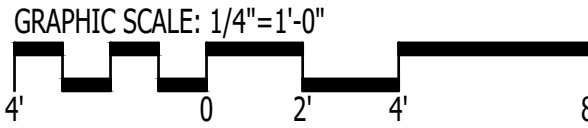


NET SQUARE FOOTAGE

NON HEATED	
FRONT PORCH	115 SF
DECK	395 SF

HEATED / COOLED	
GARAGE LEVEL	96 SF
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SECOND FLOOR PLAN	498 SF

TOTAL	2,564 SF
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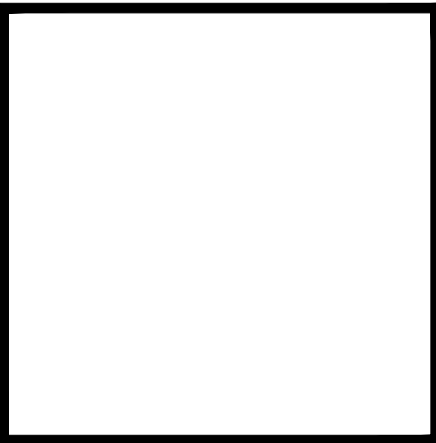


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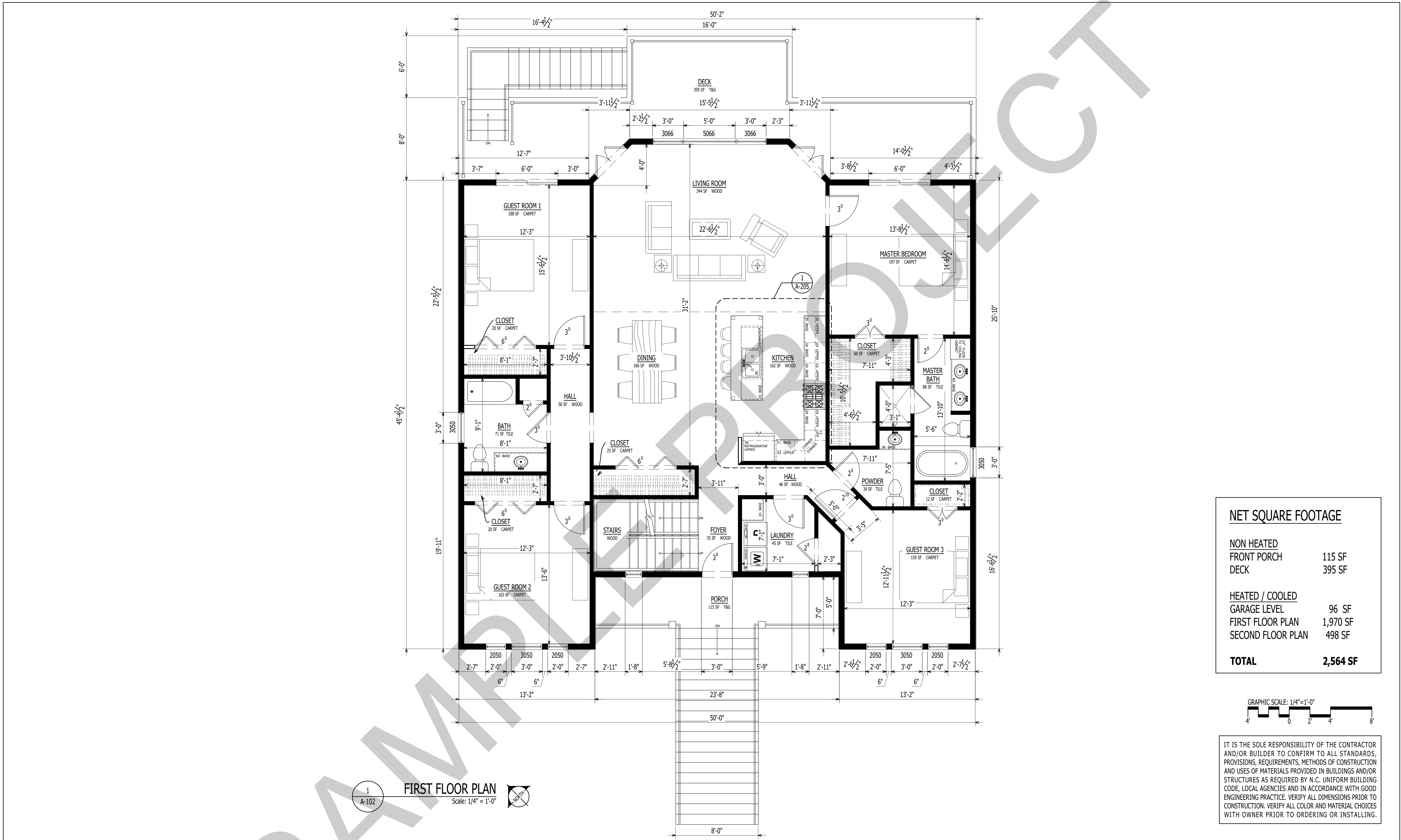
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A-101

GROUND LEVEL PLAN

12 X 18 SHEETS ARE HALF SIZE

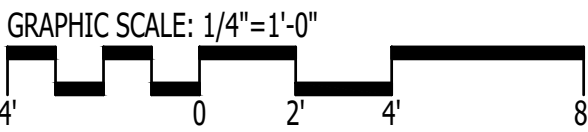


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DECK	395 SF

HEATED / COOLED	
GARAGE LEVEL	96 SF
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SECOND FLOOR PLAN	498 SF

TOTAL 2,564 SF



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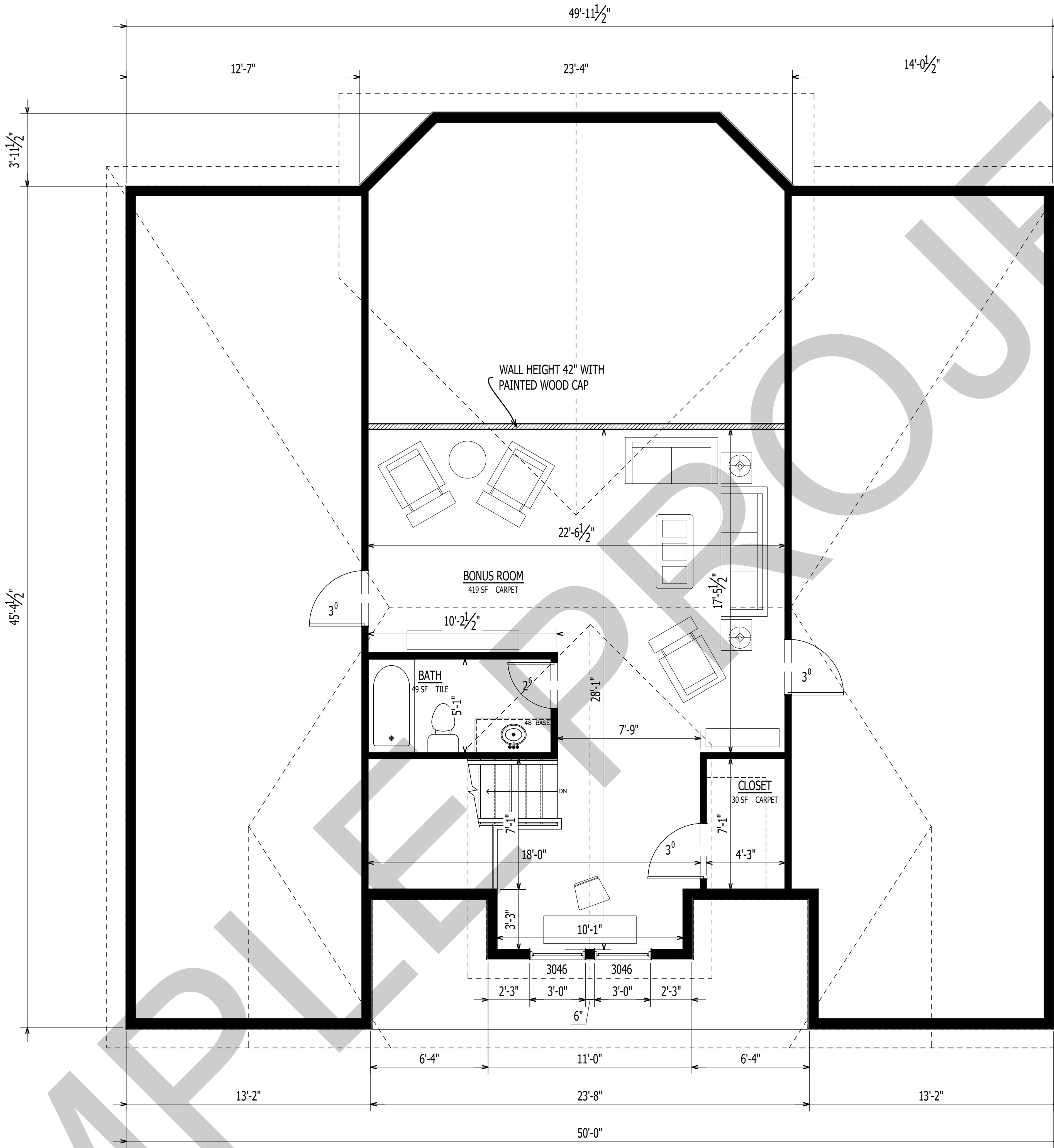
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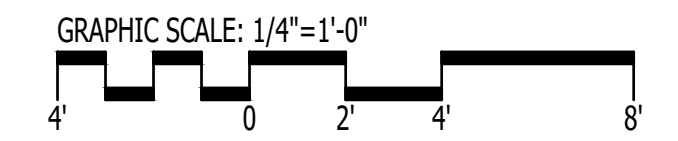
A-102

FIRST FLOOR PLAN

12 X 18 SHEETS ARE HALF SIZE



NET SQUARE FOOTAGE	
<b>NON HEATED</b>	
FRONT PORCH	115 SF
DECK	395 SF
<b>HEATED / COOLED</b>	
GARAGE LEVEL	96 SF
FIRST FLOOR PLAN	1,970 SF
SECOND FLOOR PLAN	498 SF
<b>TOTAL</b>	<b>2,564 SF</b>

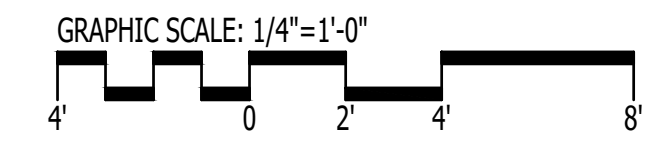
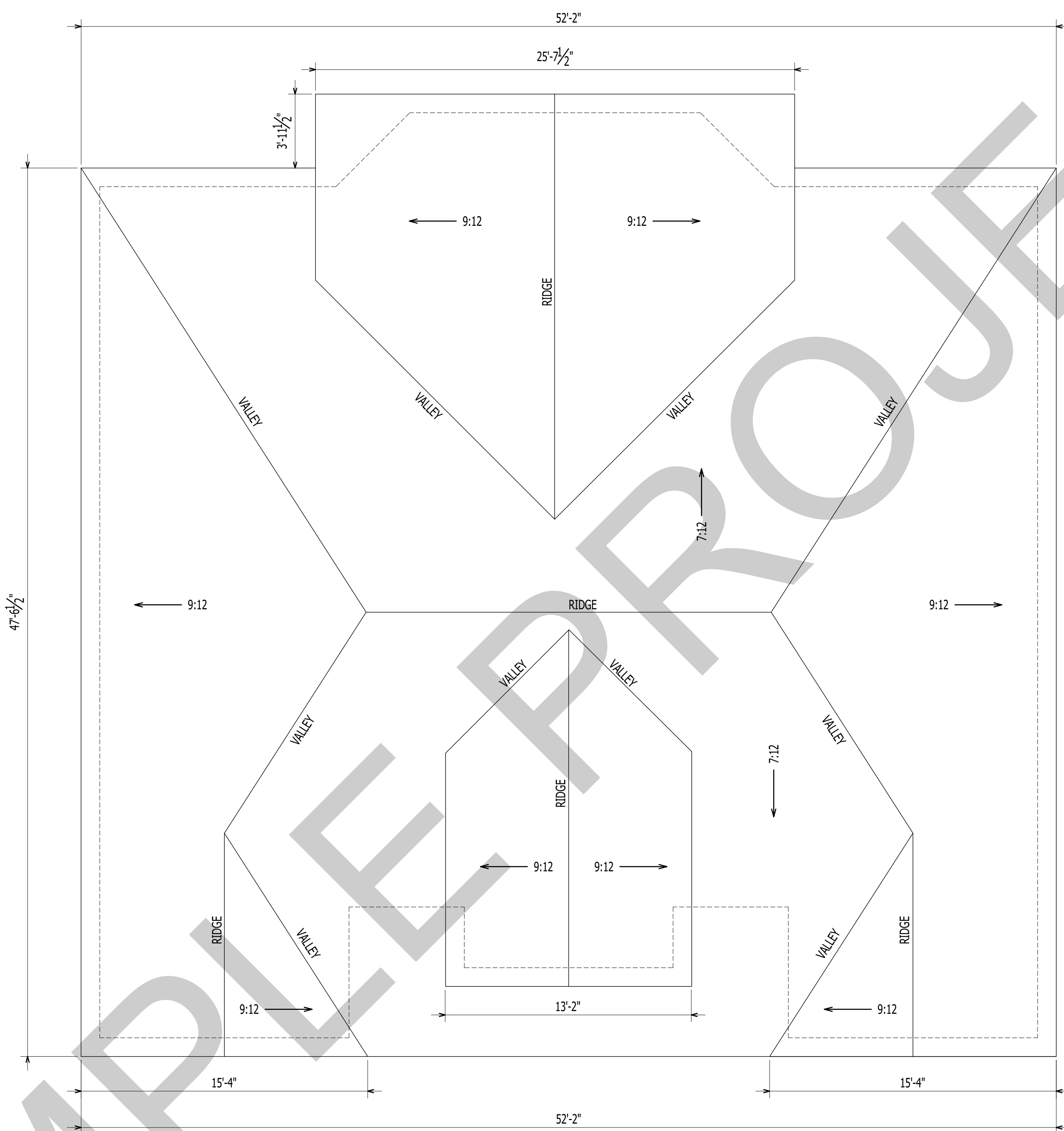


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1  
A-103  
SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"



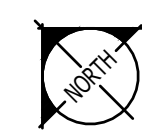




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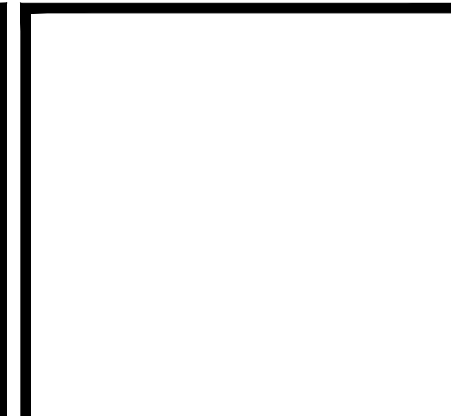
1  
A-104

ROOF PLAN  
Scale: 1/4" = 1'-0"



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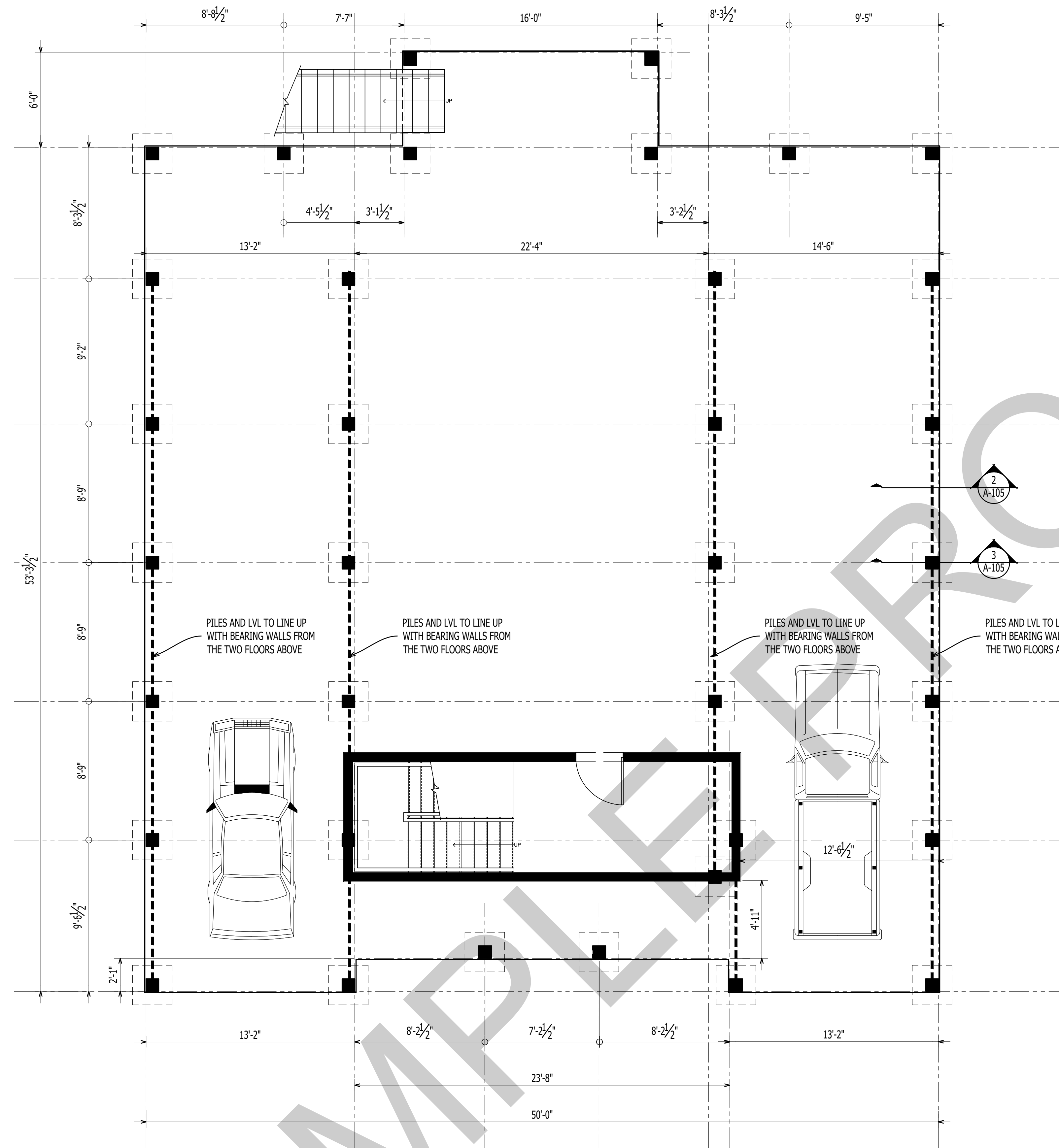
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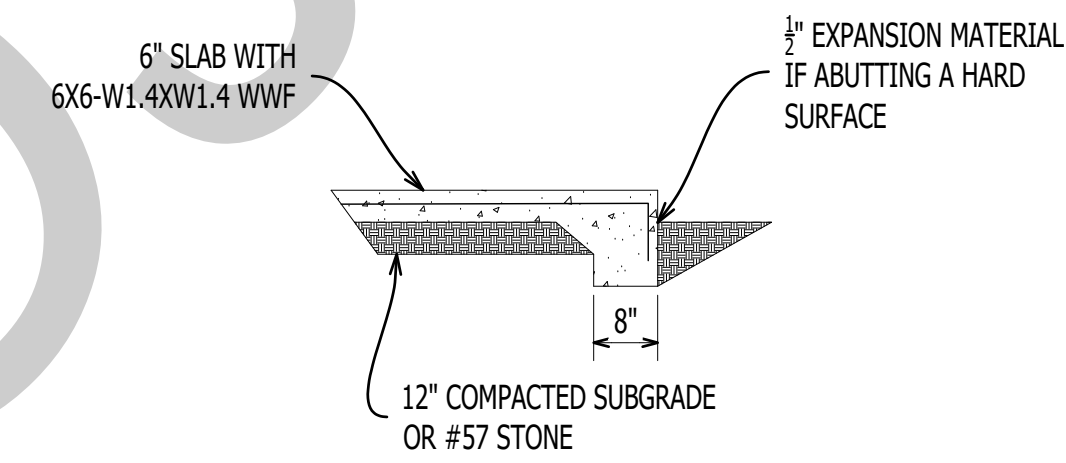
A-104

ROOF PLAN

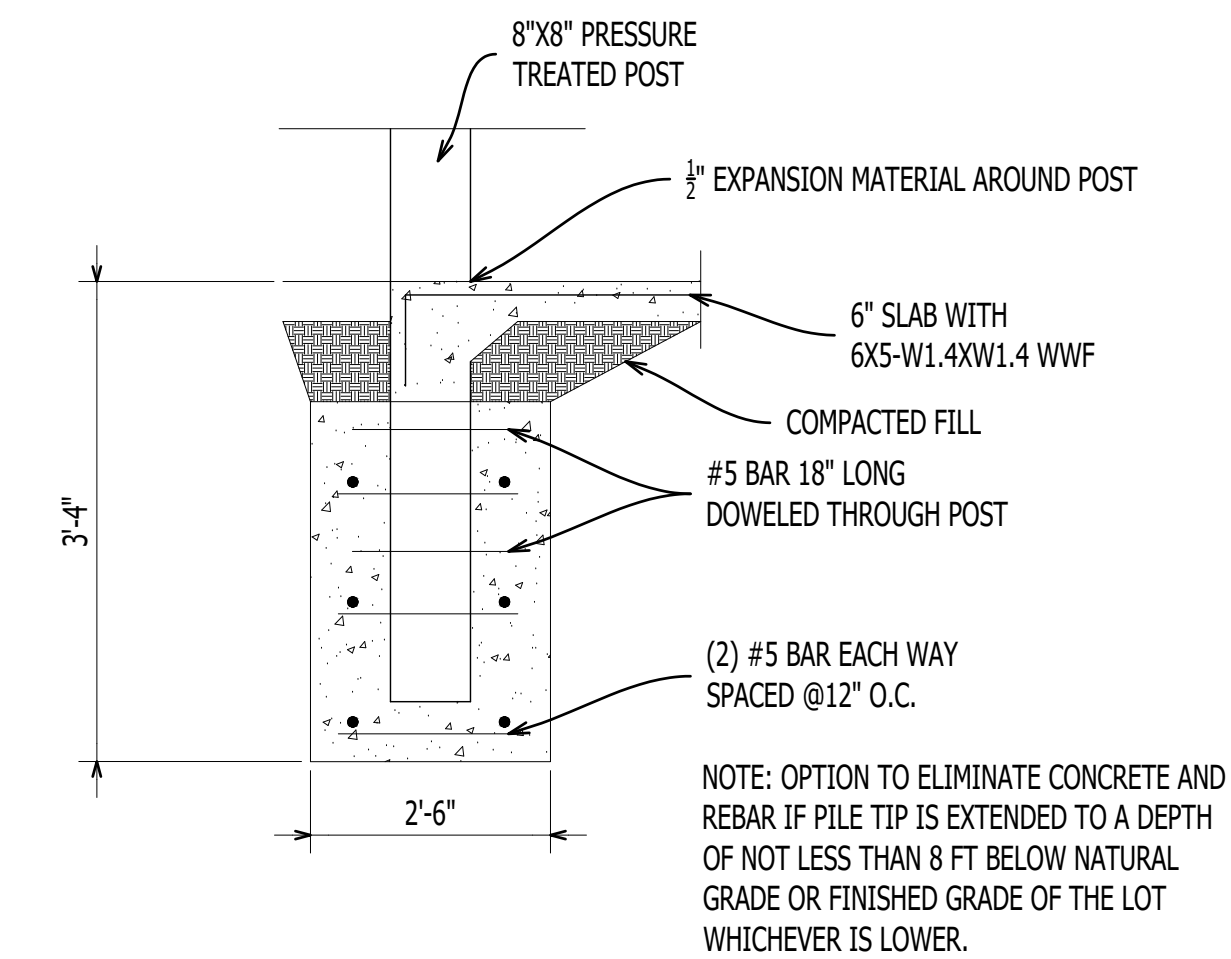
12 X 18 SHEETS ARE HALF SIZE



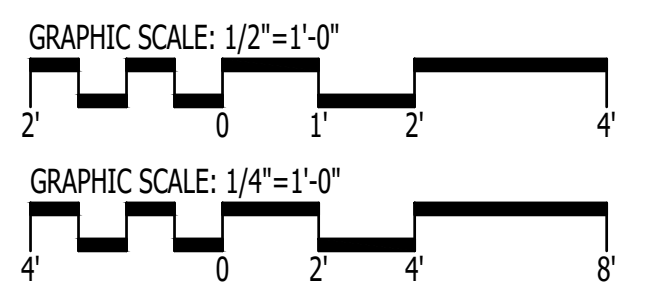
1 FOUNDATION PLAN  
A-105  
Scale: 1/4" = 1'-0"



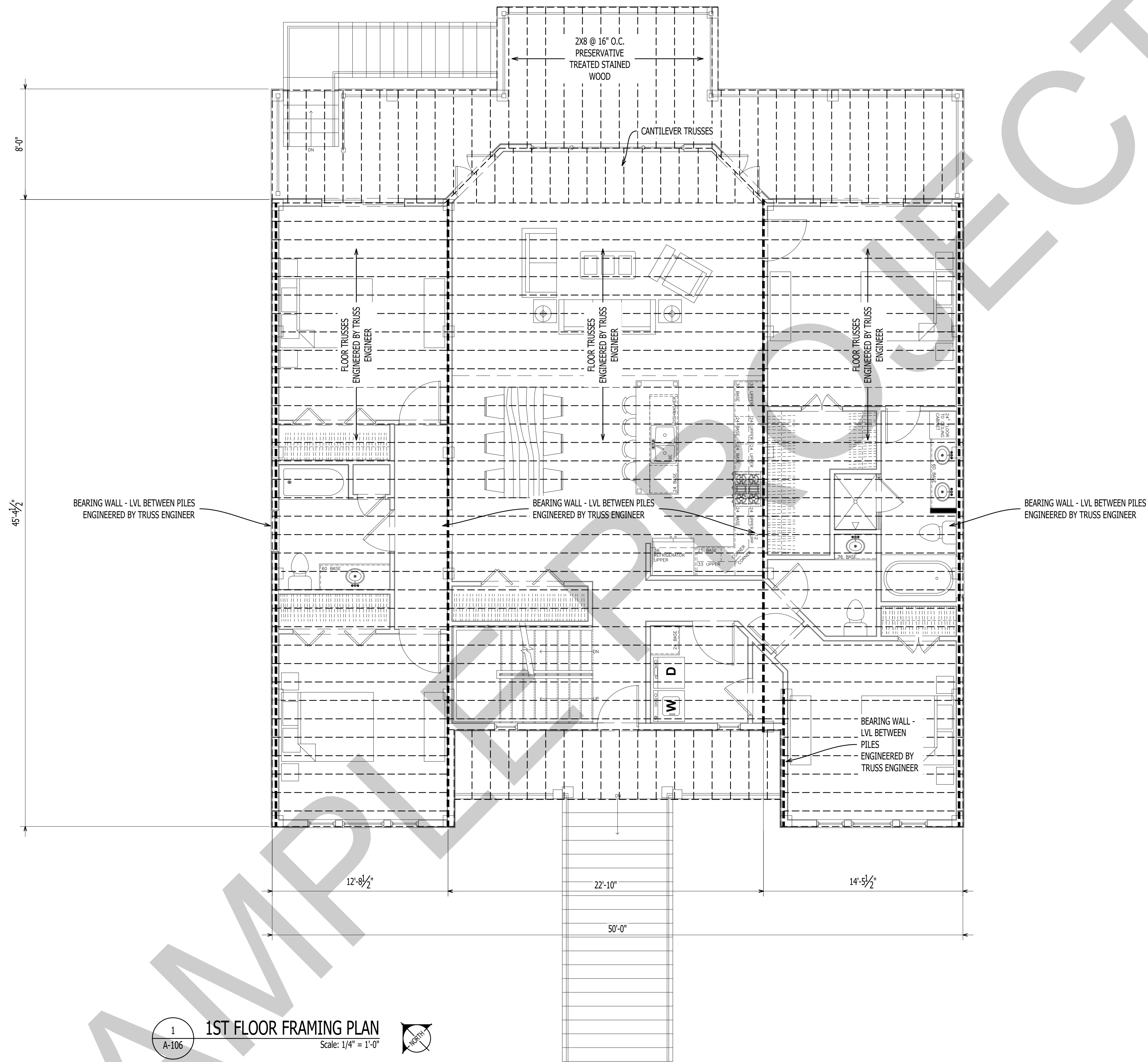
2 SECTION  
A-105  
Scale: 1/2" = 1'-0"



3 SECTION  
A-105  
Scale: 1/2" = 1'-0"



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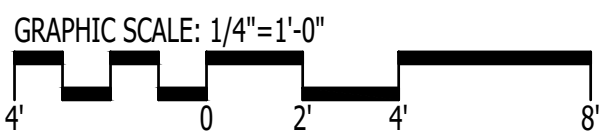
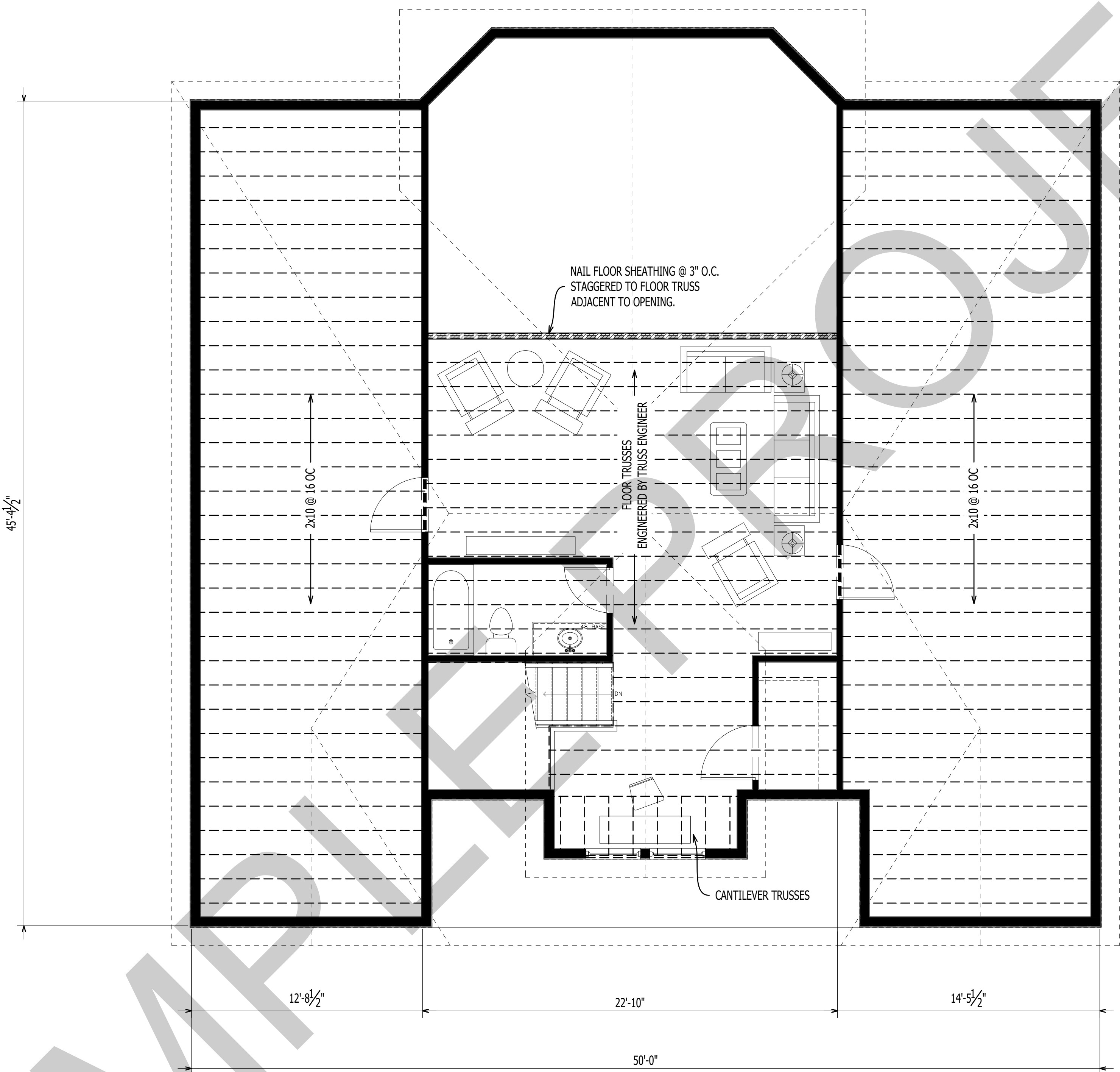
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A-106

1ST FLOOR FRAMING PLAN

12 X 18 SHEETS ARE HALF SIZE





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1 2ND FLOOR FRAMING PLAN  
A-107  
Scale: 1/4" = 1'-0"



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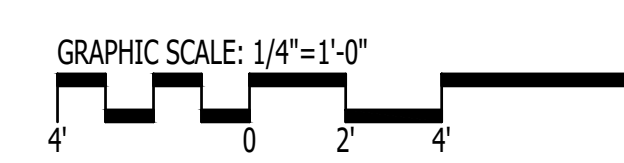
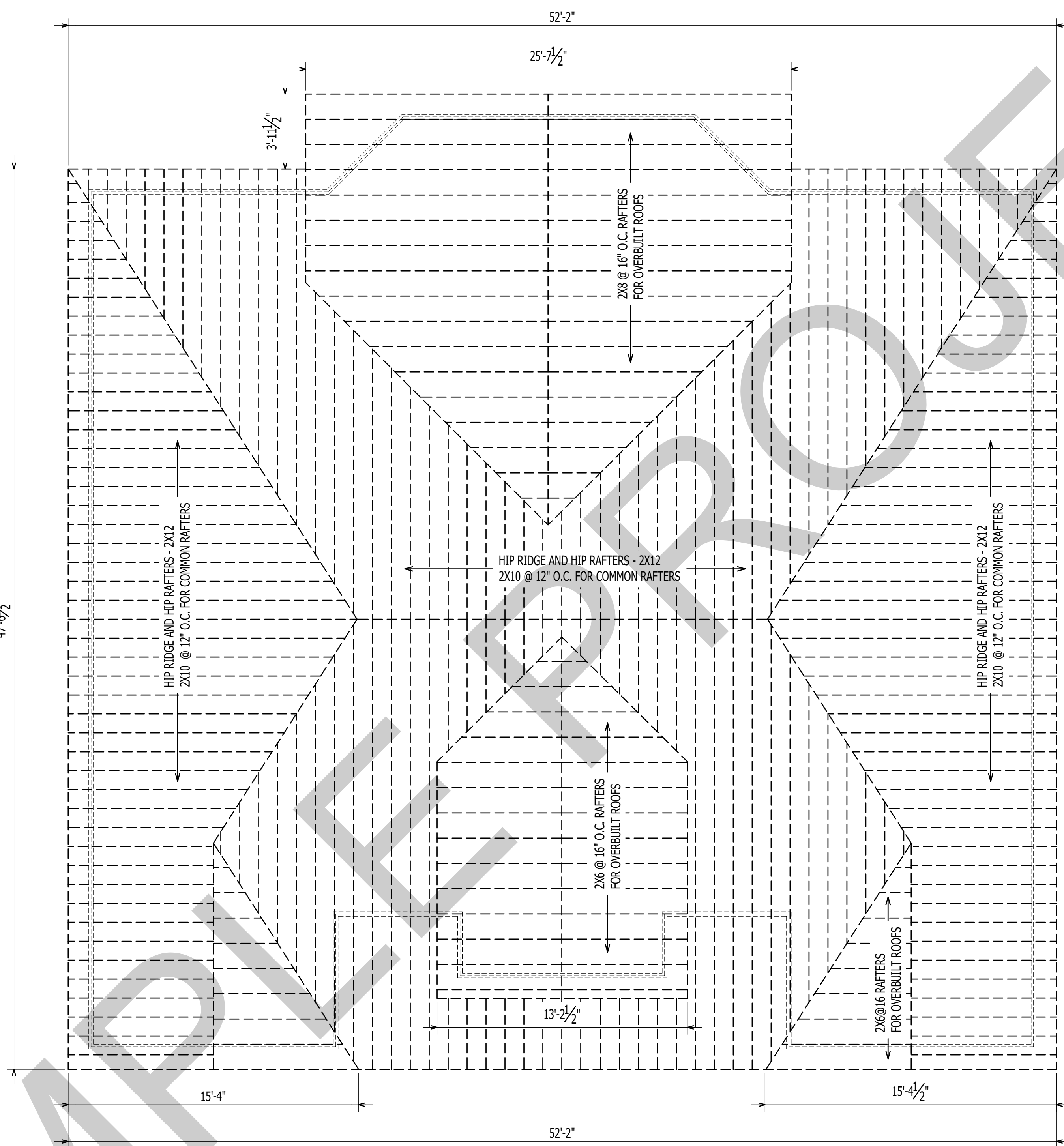
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A-107

2ND FLOOR FRAMING PLAN

12 X 18 SHEETS ARE HALF SIZE

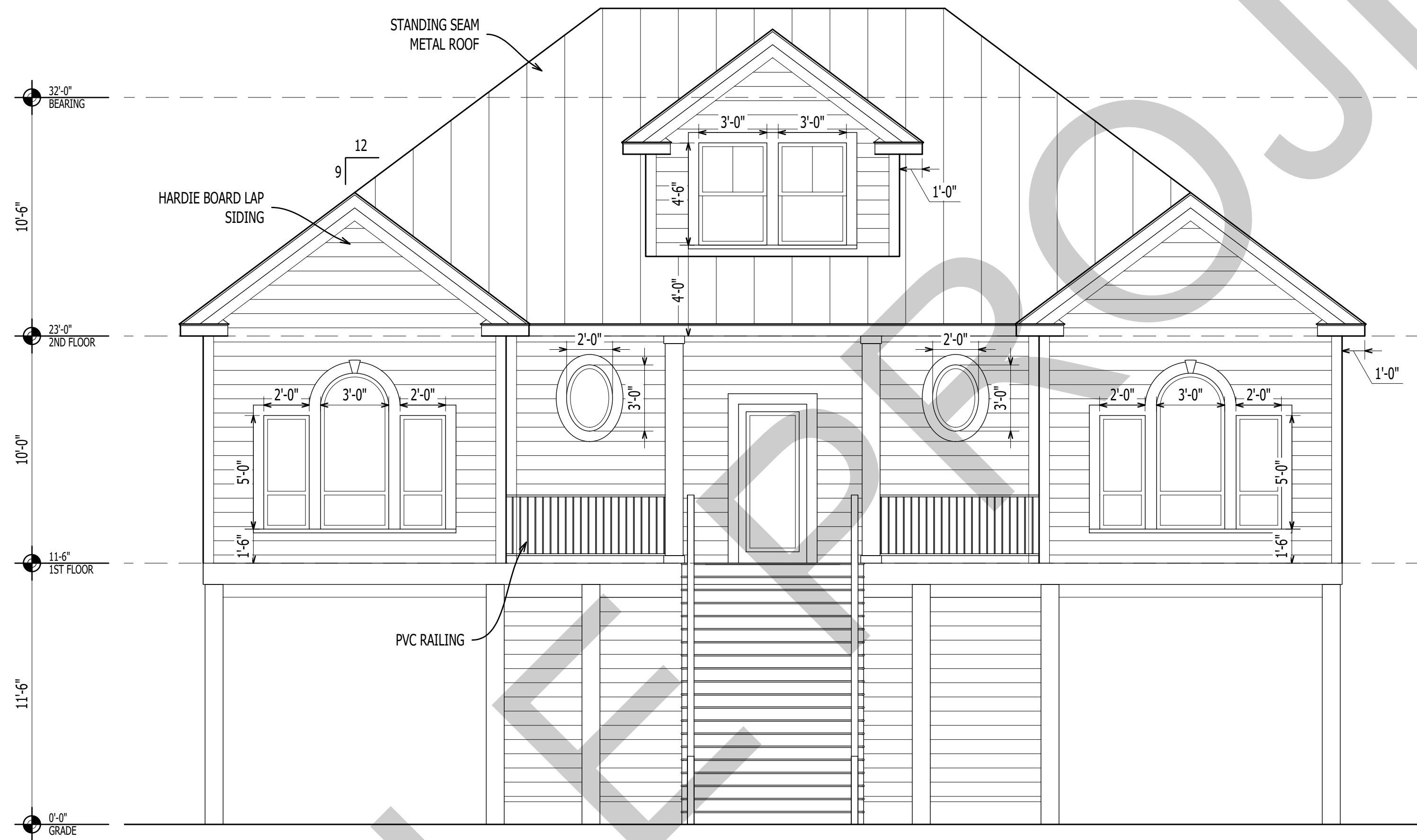




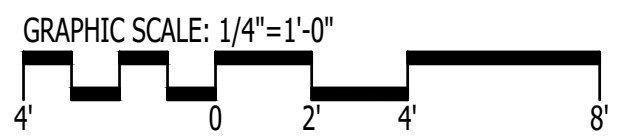
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1  
A-108  
**ROOF FRAMING PLAN**  
Scale: 1/4" = 1'-0"





1  
A-201  
ELEVATION  
Scale: 1/4" = 1'-0"

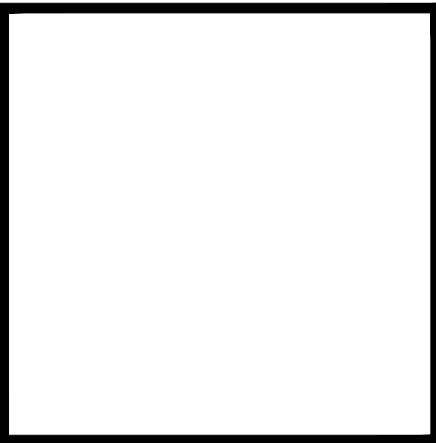


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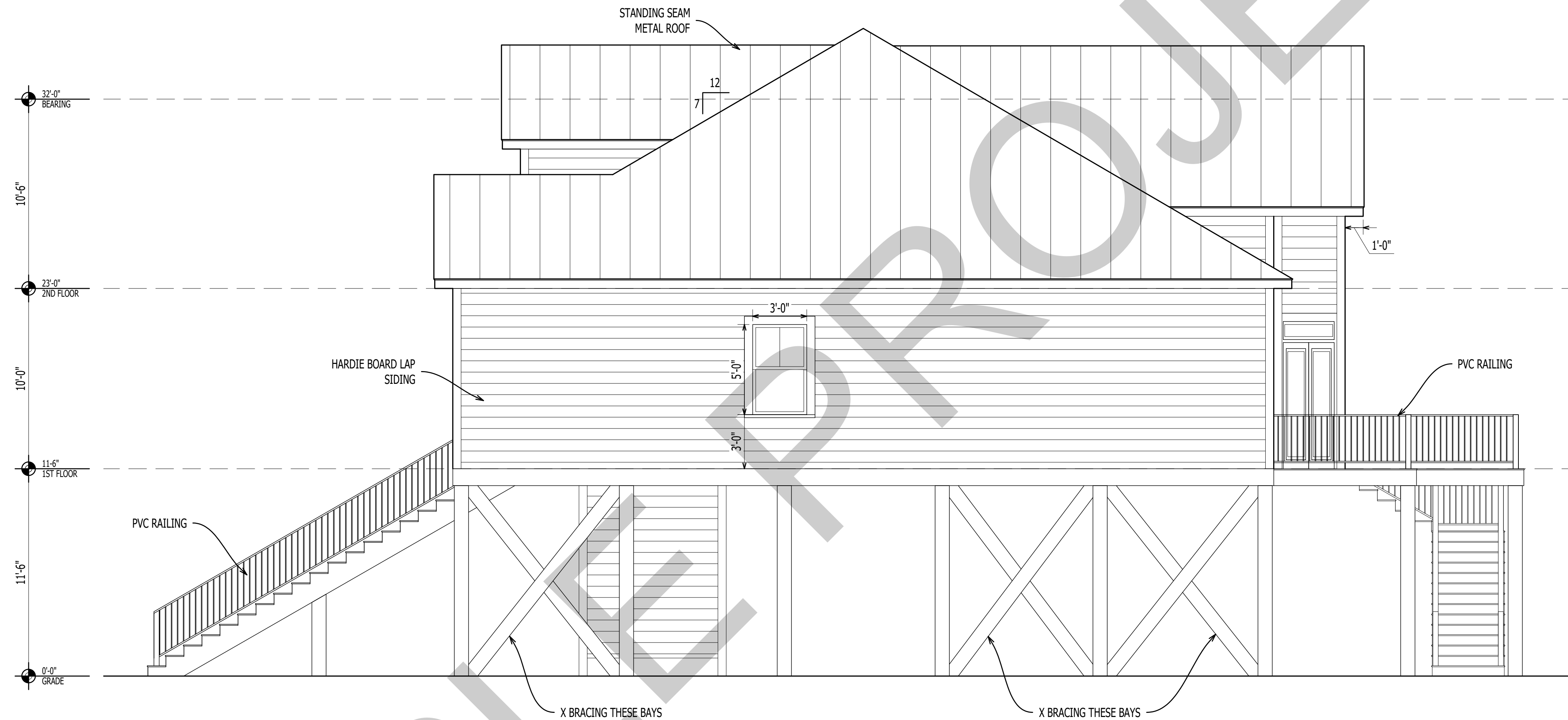
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A-201  
ELEVATIONS

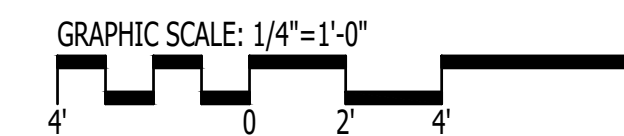
12 X 18 SHEETS ARE HALF SIZE





1  
A-202

**ELEVATION**  
Scale: 1/4" = 1'-0"

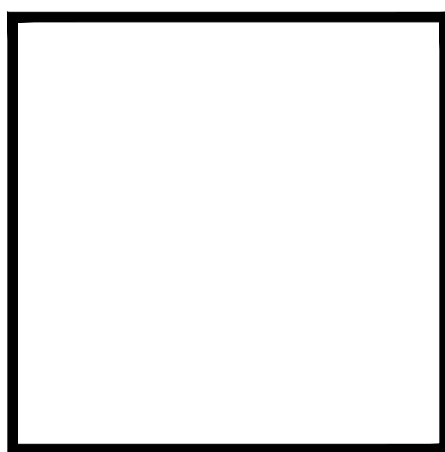


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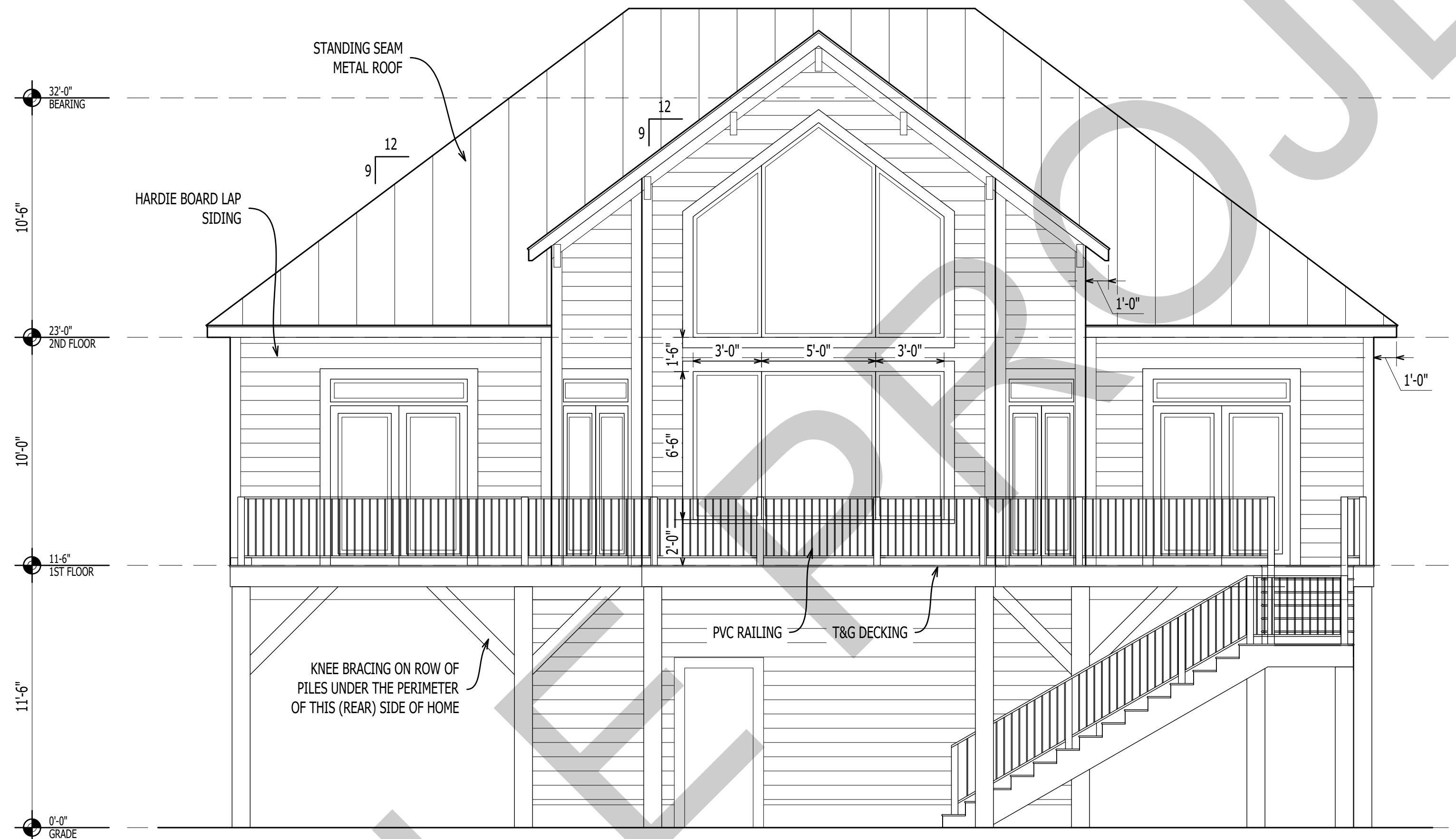
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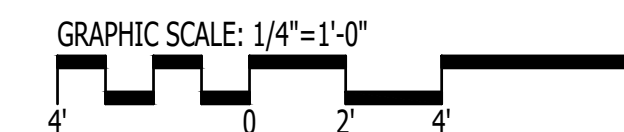
**A-202**  
ELEVATIONS

12 X 18 SHEETS ARE HALF SIZE





1  
A-203  
ELEVATION  
Scale: 1/4" = 1'-0"

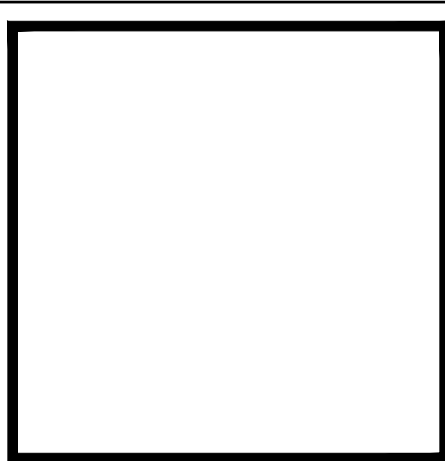


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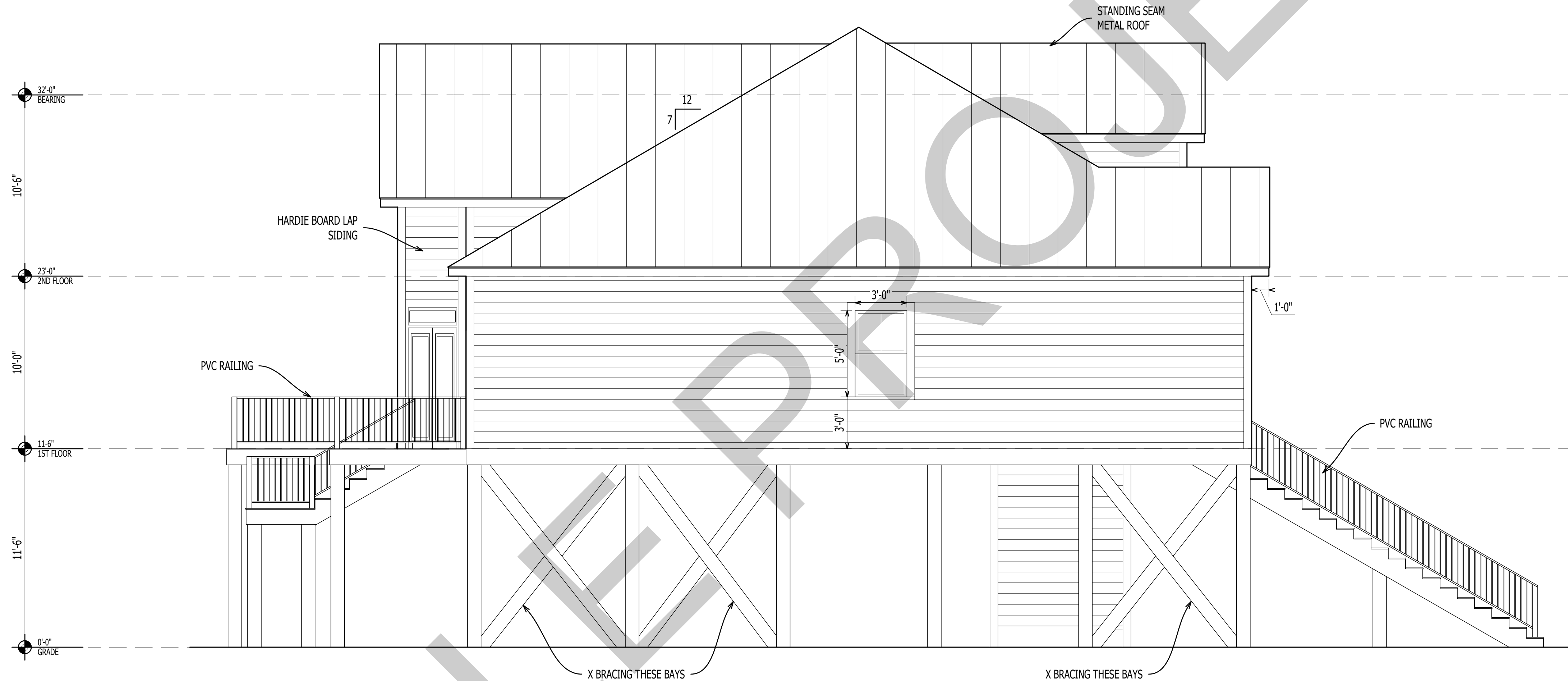
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A-203  
ELEVATIONS

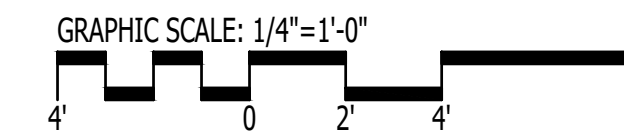
12 X 18 SHEETS ARE HALF SIZE





1  
A-204

ELEVATION  
Scale: 1/4" = 1'-0"



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Date:

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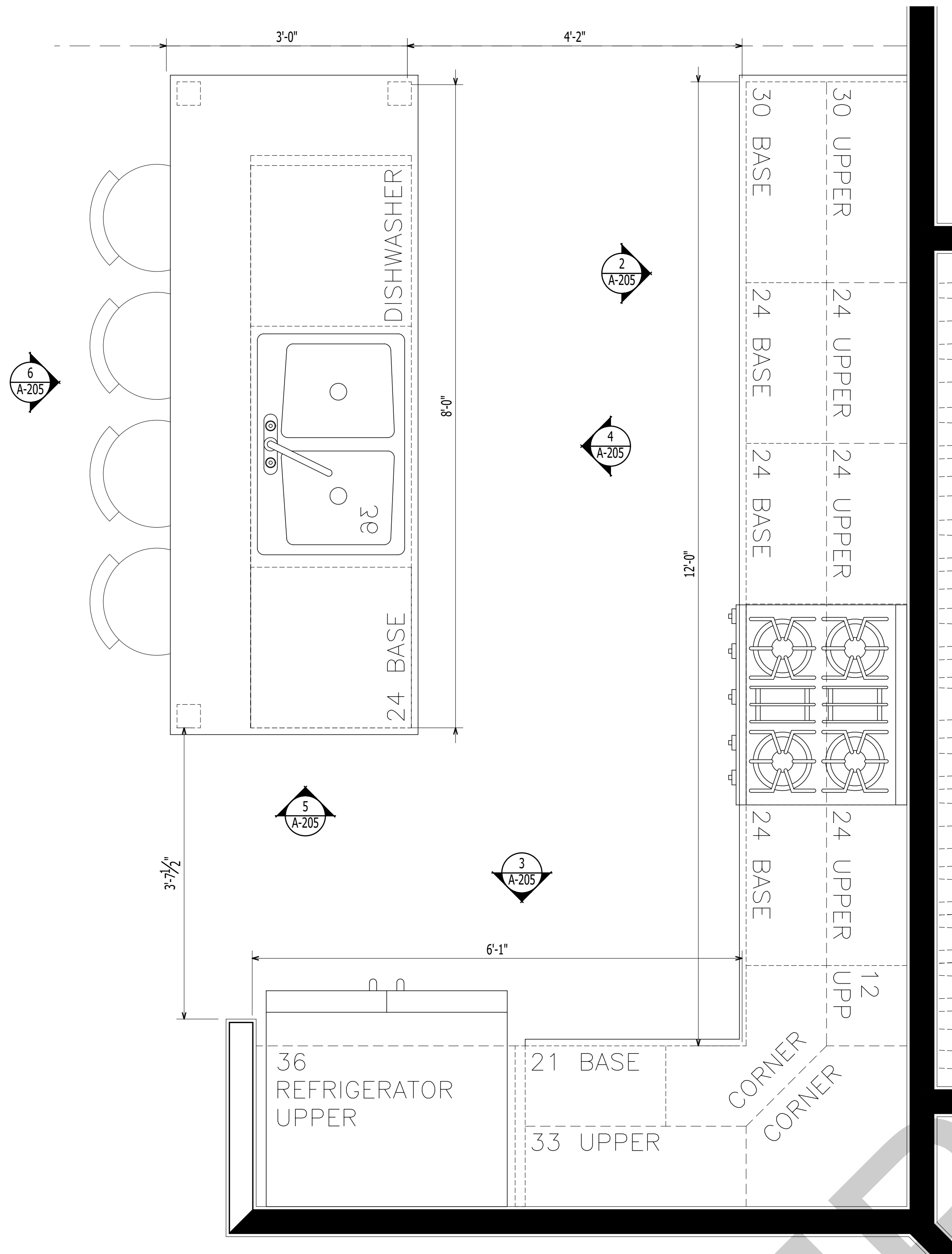
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A-204

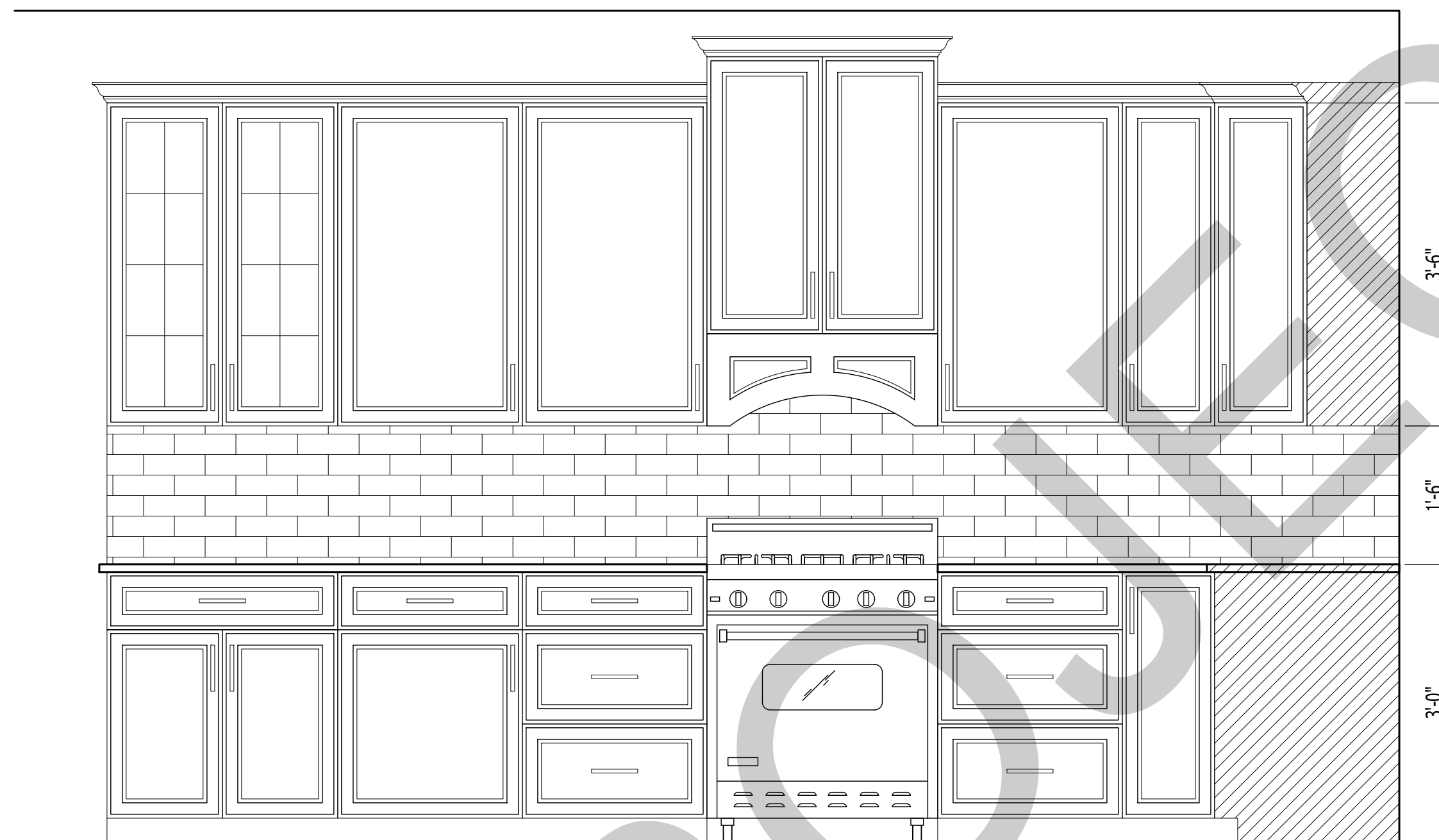
ELEVATIONS

12 X 18 SHEETS ARE HALF SIZE





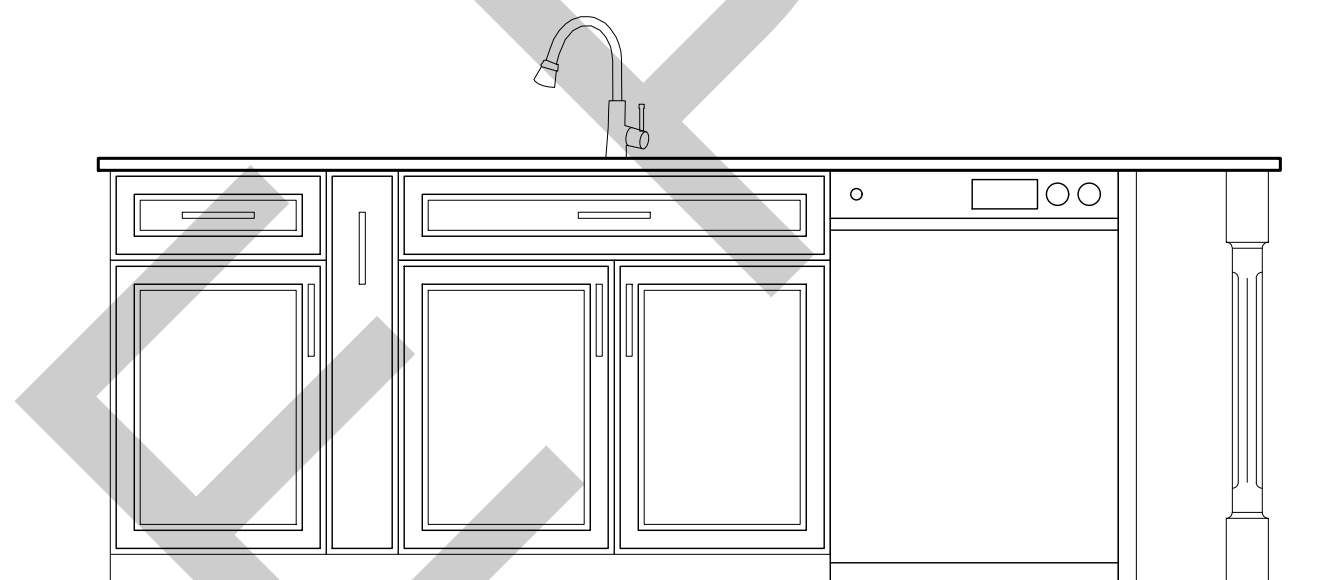
1  
A-205  
ENLARGED KITCHEN PLAN  
Scale: 1" = 1'-0"



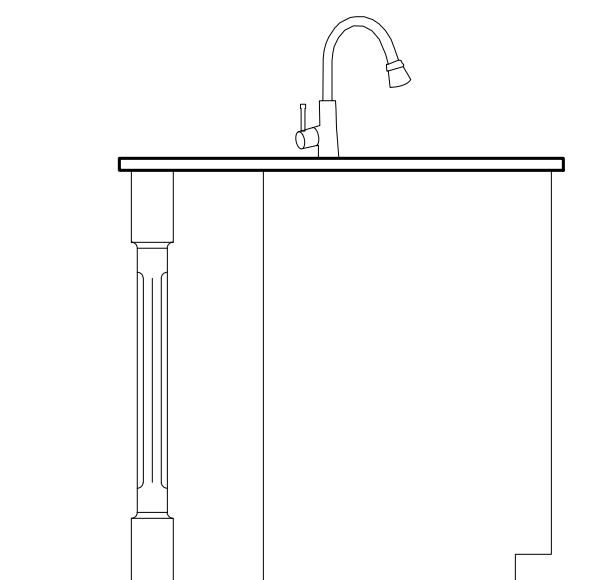
2  
A-205  
KITCHEN ELEVATION  
Scale: 3/4" = 1'-0"



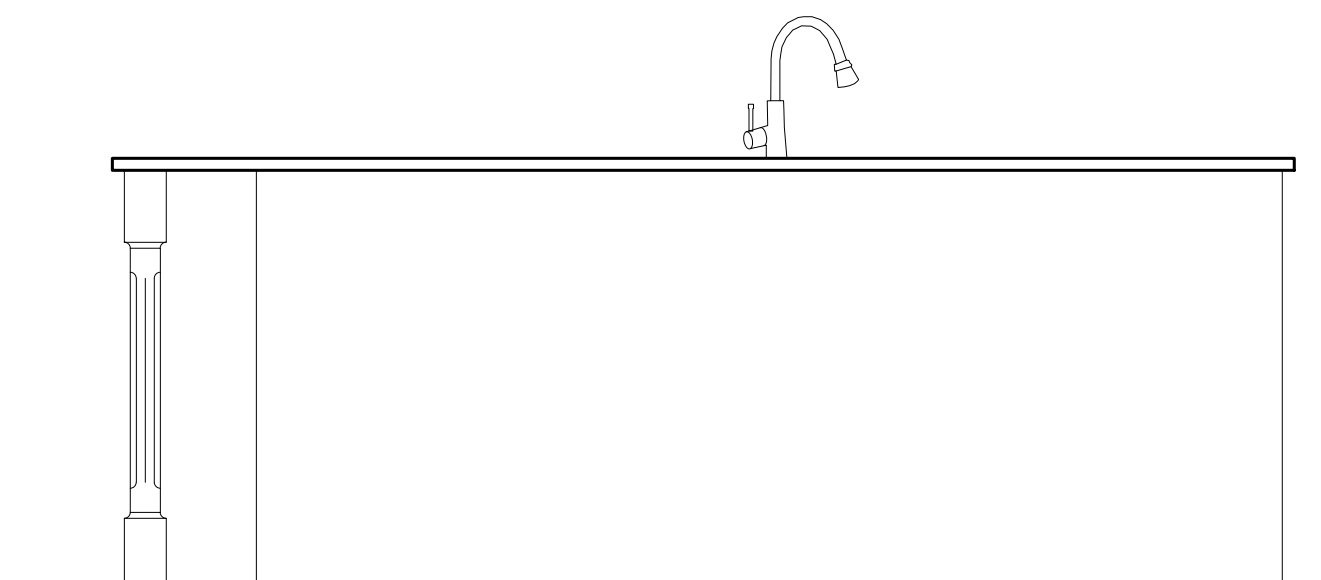
3  
A-205  
KITCHEN ELEVATION  
Scale: 3/4" = 1'-0"



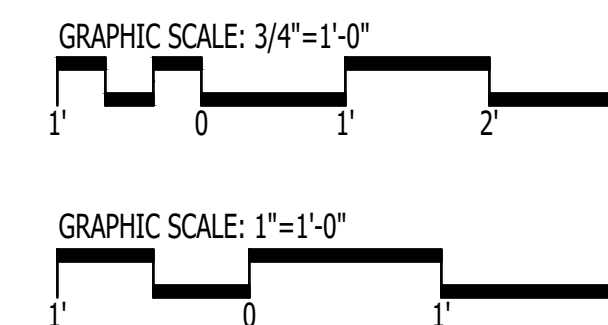
4  
A-205  
ISLAND ELEVATION  
Scale: 3/4" = 1'-0"



5  
A-205  
ISLAND ELEVATION  
Scale: 3/4" = 1'-0"

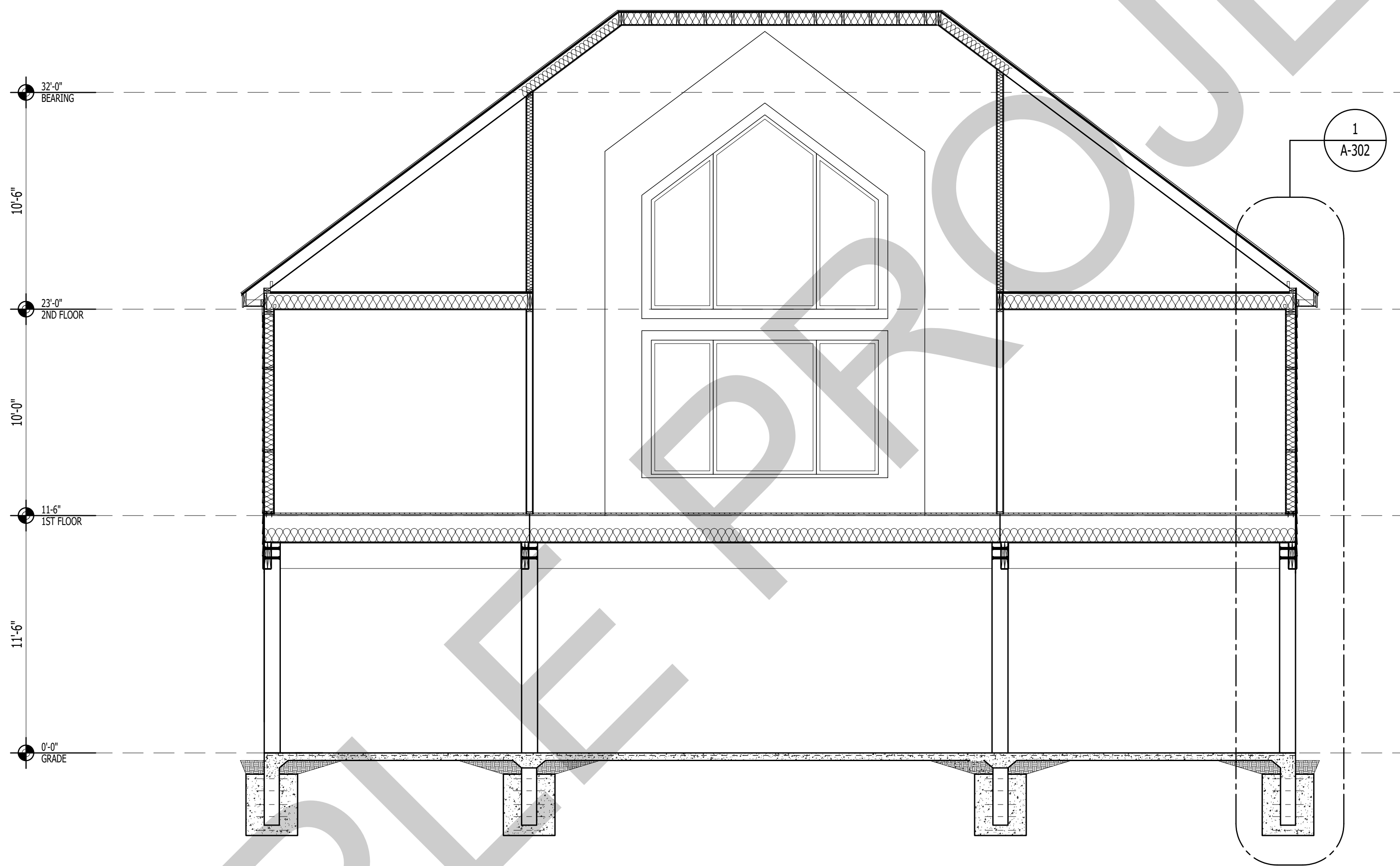


6  
A-205  
ISLAND ELEVATION  
Scale: 3/4" = 1'-0"



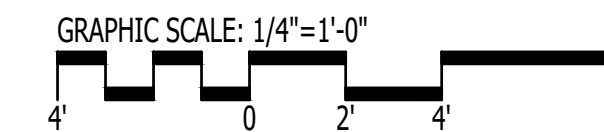
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1  
A-301

**BUILDING SECTION**  
Scale: 1/4" = 1'-0"

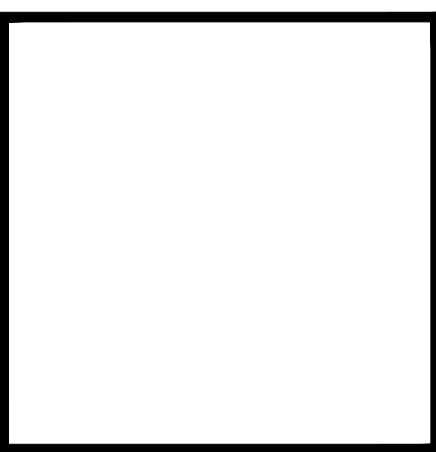


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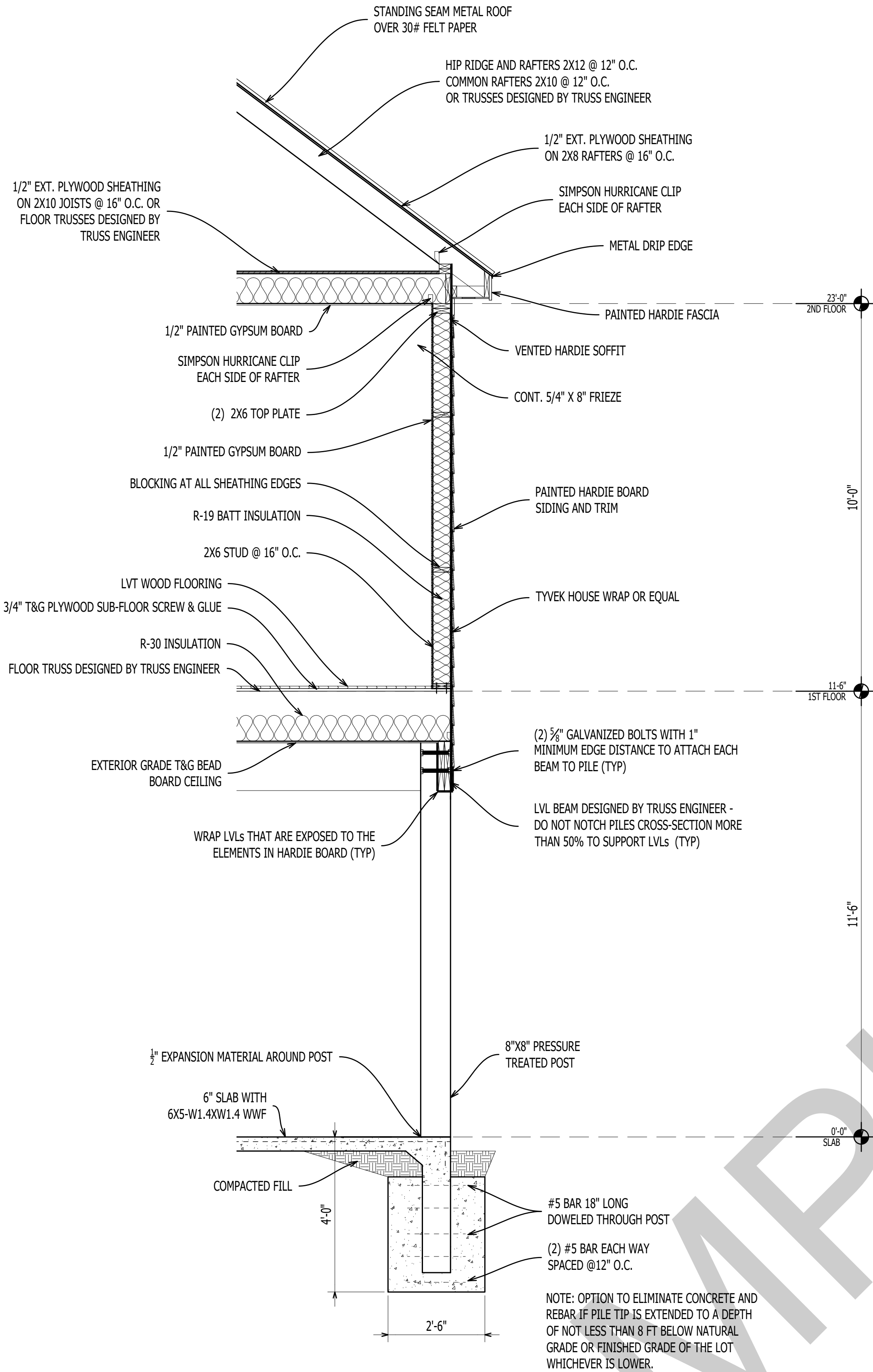
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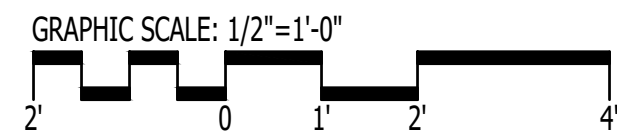
**A-301**  
BUILDING SECTION

12 X 18 SHEETS ARE HALF SIZE





1 TYPICAL CANTILEVER FRAMING (JOISTS PERP. TO WALL)  
A-301 Scale: 1/2" = 1'-0"



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**FOUNDATION NOTES:**

CRAWL SPACE SHALL BE PROVIDED WITH FLOOD OPENINGS THAT MEET THE FOLLOWING CRITERIA:

1. THERE SHALL BE A MINIMUM OF TWO OPENINGS ON DIFFERENT SIDES OF EACH ENCLOSED AREA BELOW THE DESIGN FLOOD ELEVATION. OPENINGS SHALL BE LOCATED ON EXTERIOR WALLS.
2. THE TOTAL NET AREA OF ALL OPENINGS SHALL BE AT LEAST 1 SQUARE INCH FOR EACH SQUARE FOOT OF ENCLOSED AREA.
3. THE BOTTOM OF EACH OPENING SHALL BE 1 FOOT OR LESS ABOVE ADJACENT GROUND LEVEL.
4. OPENINGS SHALL NOT BE LESS THAN 3 INCHES IN ANY DIRECTION IN THE PLANE OF THE WALL.

A MINIMUM 18"x24" ACCESS SHALL BE PROVIDED TO ALL CRAWL SPACE AREAS.

**DESIGN CRITERIA:**

DESIGN WIND SPEED = 120mph, EXPOSURE CATEGORY 'C',

ENCLOSED BUILDING

DESIGN LIVE LOADS: FLOOR=40psf, ROOF=20psf

**MASONRY NOTES:**

ALL MASONRY SHALL BE LAID IN A RUNNING BOND PATTERN.

CONCRETE MASONRY UNITS SHALL BE CELLULAR UNITS CONFORMING TO ASTM C90 GRADE N-2.

STRUCTURAL BRICK SHALL CONFORM TO ASTM C62

BRICK & CRICK SHALL HAVE MINIMUM COMPRESSIVE STRENGTH = 1,500psi

MORTAR SHALL BE TYPE 'S' AND CONFORM TO ASTM C270

DO NOT APPLY UNIFORM LOADS TO MASONRY UNTIL AT LEAST 12HRS AFTER BUILDING WALLS. DO NOT APPLY CONCENTRATED LOADS UNTIL AT LEAST 3 DAYS AFTER BUILDING WALLS.

**SITE CONDITIONS ARE UNKNOWN. FOUNDATION AND FOOTING DESIGN BASED ON PRESUMPTIVE SOIL BEARING PRESSURE OF 2000psf. CONTRACTOR SHALL CONFIRM.**

STRUCTURAL FILL SHALL BE PLACES IN LIFTS OF NOT MORE THAN 6-in. LOOSE THICKNESS, WITH EACH LIFT COMPACTED TO AT LEAST 95% OF ITS MAXIMUM STANDARD PROCTOR DENSITY.

**WOOD FRAMING NOTES:**

LUMBER SHALL BE SOUTHERN YELLOW PINE (SYP) #2 OR BETTER FOR HEADERS, JOISTS, AND RAFTERS UNO. STUDS, BRACING, AND BLOCKING SHALL BE SPRUCE PINE FIR (SPF) #2 OR BETTER.

# - DENOTES NUMBER OF JACK STUDS REQUIRED (2 UNLESS NOTED OTHERWISE)

LAMINATED VENEER LUMBER (LVL) PILES SHALL BE 1.75" WIDE AND MEET OR EXCEED THE FOLLOWING DESIGN PROPERTIES:

- MODULES OF ELASTICITY (E) - 1,800,000 psi
- FLEXURAL STRESS (Fb) - 2,400 psi
- SHEAR STRESS (Fv) - 190 psi

LBW - LOAD BEARING WALL

FLUSH - BOTTOM OF HEADER IS FLUSH w/ BOTTOM OF FLOOR SYSTEM

ALL PRESSURE TREATED 2x MATERIAL SHALL BE SYP #2 OR BETTER

EXTERIOR WALLS SHALL BE SHEATHED WITH 3/8" OSB (24/16 APA RATED SHEATHING) AND NAILED WITH 8d NAILS 3" O.C. AT ALL PANEL EDGES AND 6" O.C. AT INTERMEDIATE WALL FRAMING. INTERIOR SHALL BE SHEATHED WITH 1/2" GYPSUM. EXTERIOR SHEATHING EDGES SHALL BE BLOCKED.

PLYWOOD ADJACENT TO PORCHES SHALL BE TREATED.

DO NOT SPLICE MEMBERS BETWEEN BEARINGS.

2-PLY MEMBER CONNECTION - NAIL 2x MEMBERS TOGETHER USING 3 ROWS OF 16d NAILS 9" O.C. (LVL NAILING TO BE 12" O.C.)

3-PLY MEMBER CONNECTION - NAIL 2x MEMBERS TOGETHER USING 3 ROWS OF 16d NAILS 9" O.C. (LVL NAILING TO BE 12" O.C.) CONNECTION(S) SHALL BE FROM BOTH SIDES.

4-PLY MEMBER CONNECTION - ATTACH PLIES TOGETHER USING 2 ROWS, STAGGERED OF 1" THROUGH-BOLTS, WASHERS, AND NUTS 24" O.C. LOCATE ONE ROW 3" FROM TOP OF MEMBER, ONE ROW 3" FROM BOTTOM OF MEMBER.

**CONCRETE NOTES:**

CONCRETE SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000psi.

REINFORCING STEEL SHALL BE ASTM GRADE 60.

CONCRETE FOOTING SHALL HAVE 3" CLEAR COVER AROUND REINFORCING BARS.

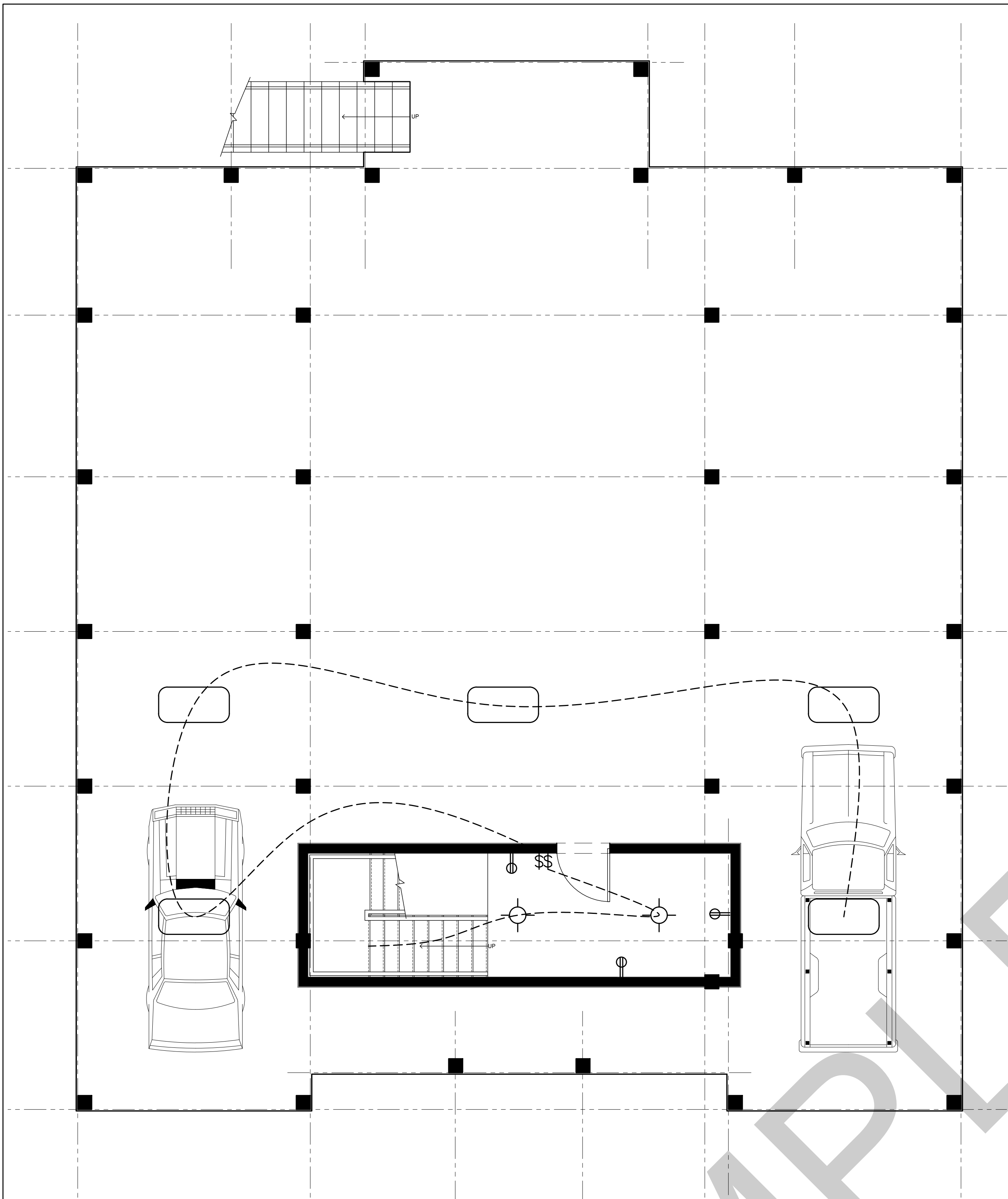
REINFORCING BARS SHALL HAVE MINIMUM LAP OF 25" OR 36 BAR DIAMETERS.

WELDED WIRE FABRIC SHALL CONFORM RO ASTM 185

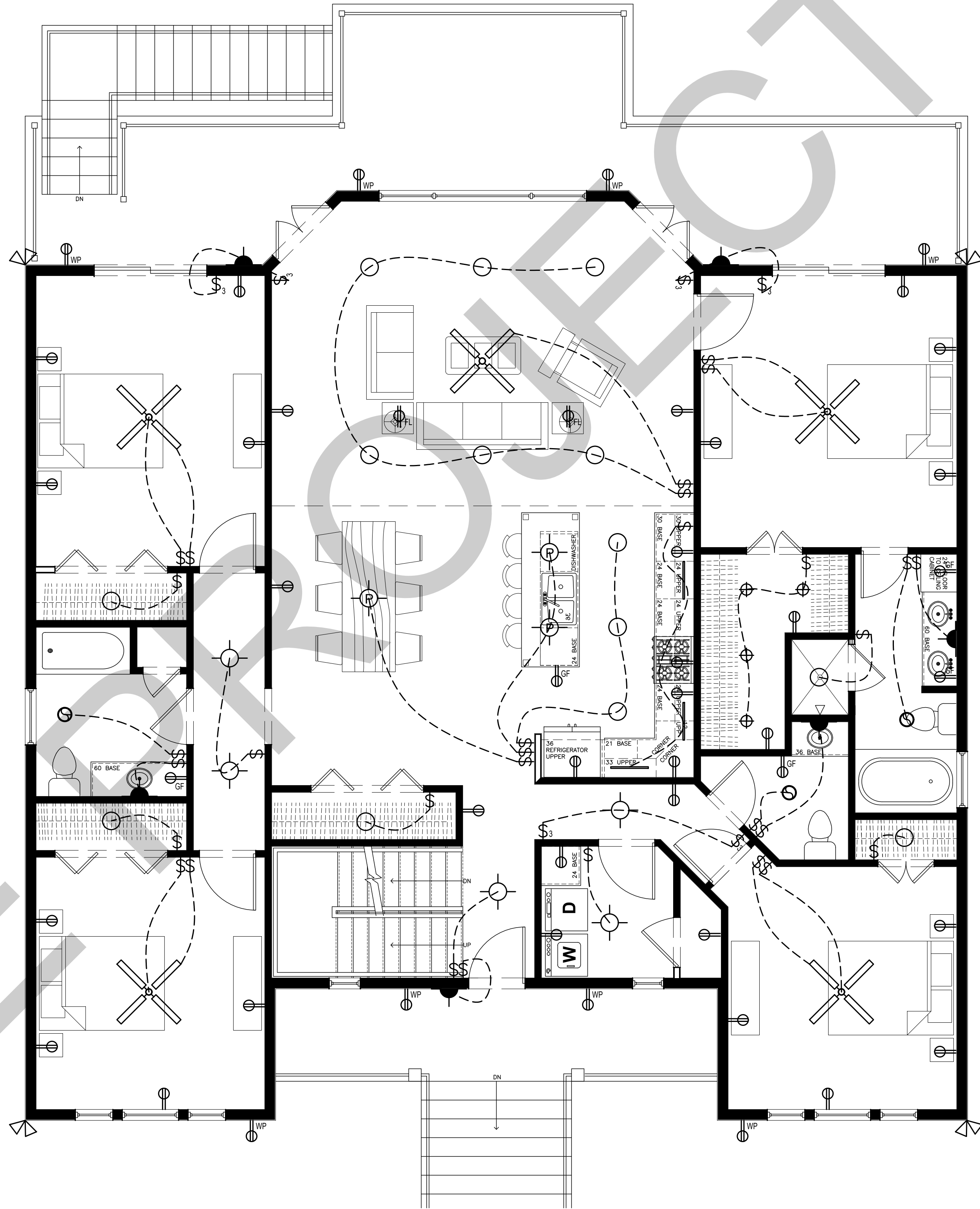
PROVIDE CONTRACTION JOINTS AS REQUIRED (10'-12' O.C. +/-)

ALL CONCRETE WORK SHALL CONFORM TO NC BUILDING CODE.





1 GROUND FLOOR ELECTRICAL PLAN  
E-101 Scale: 1/4" = 1'-0"



2 FIRST FLOOR ELECTRICAL PLAN  
E-101 Scale: 1/4" = 1'-0"

RECEPTACLE

FLOOR RECEPTACLE

GFCI RECEPTACLE

WATER PROOF RECEPTACLE

SWITCH

3 WAY SWITCH

SECURITY LIGHT

CEILING MOUNT

WALL SCONCE

CEILING PENDANT

FAN / LIGHT

6" RECESSED CAN

DIRECTIONAL PIN LIGHT

FLUORESCENT

UNDER-COUNTER

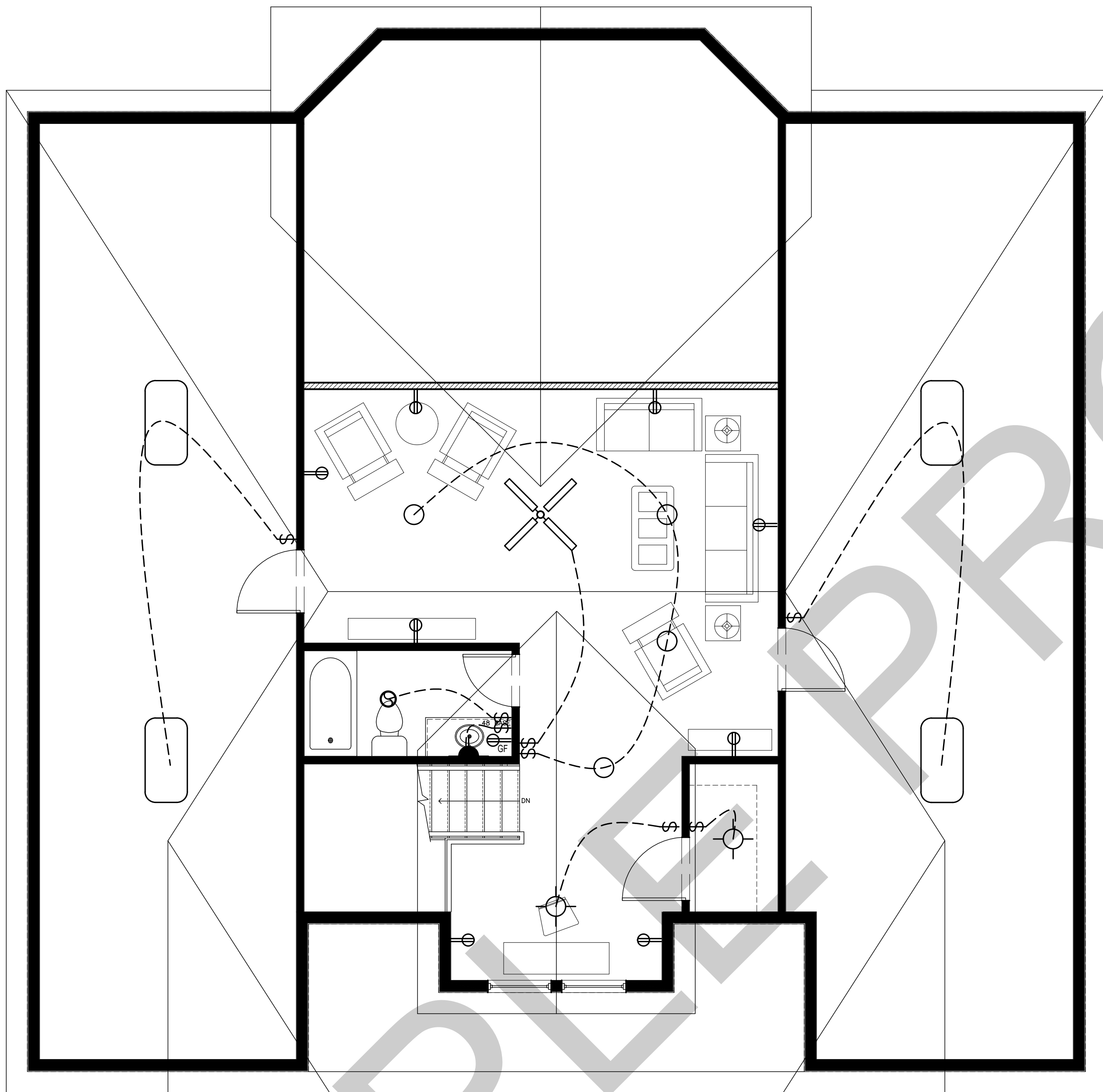
INDIRECT TRAY LIGHT

CABLE

GARAGE DOOR OPENER W/ LIGHT

GRAPHIC SCALE: 1/4"=1'-0"

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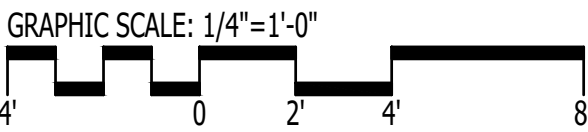
1  
E-102

SECOND FLOOR ELECTRICAL PLAN

Scale: 1/4" = 1'-0"



	RECEPTACLE
	FLOOR RECEPTACLE
	GFCI RECEPTACLE
	WATER PROOF RECEPTACLE
	SWITCH
	3 WAY SWITCH
	SECURITY LIGHT
	CEILING MOUNT
	WALL SCONCE
	CEILING PENDANT
	FAN / LIGHT
	6" RECESSED CAN
	DIRECTIONAL PIN LIGHT
	FLUORESCENT
	UNDER-COUNTER
	INDIRECT TRAY LIGHT
	CABLE
	GARAGE DOOR OPENER W/ LIGHT



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E-102

ELECTRICAL PLANS

12 X 18 SHEETS ARE HALF SIZE