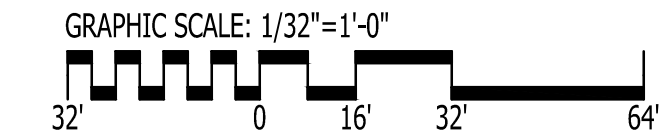
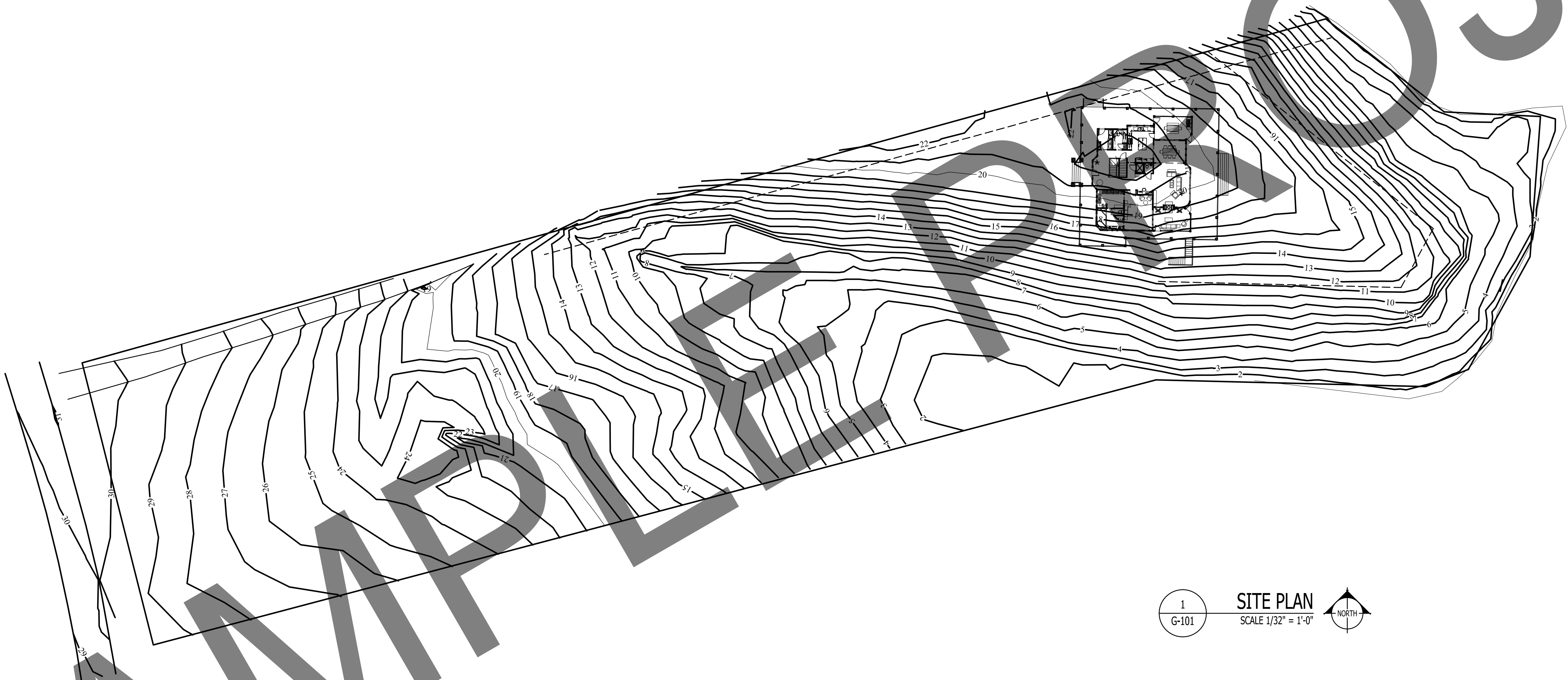


COASTAL CUSTOM RESIDENCE

SHEETS

G-101	TITLE SHEET / SITE PLAN	A-201	ELEVATIONS	A-302	WALL SECTION
A-101	GARAGE FLOOR PLAN	A-202	ELEVATIONS	A-401	ENLARGED PLANS
A-102	FIRST FLOOR PLAN	A-203	ELEVATIONS		KITCHEN ELEVATIONS
A-103	SECOND FLOOR PLAN	A-204	ELEVATIONS	E-101	ELECTRICAL PLANS
A-104	ROOF PLAN	A-301	SECTION		



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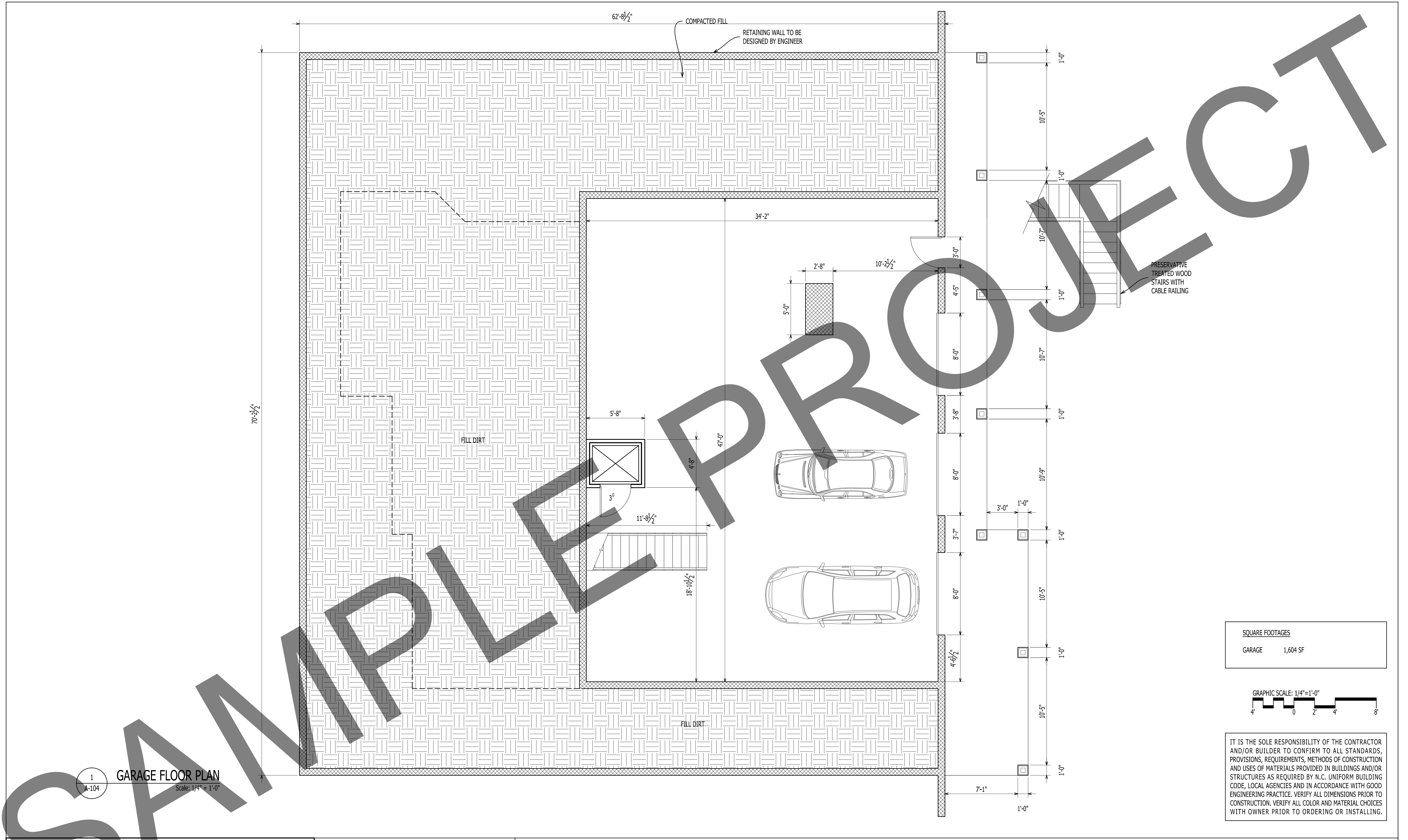
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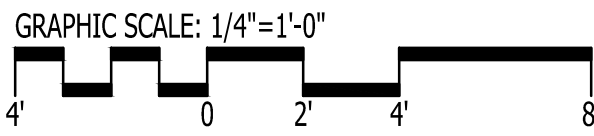
G-101

TITLE SHEET
/ SITE PLAN

12 X 18 SHEETS ARE HALF SIZE



SQUARE FOOTAGES	
GARAGE	1,604 SF



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1 GARAGE FLOOR PLAN
A-104
Scale: 1/4" = 1'-0"



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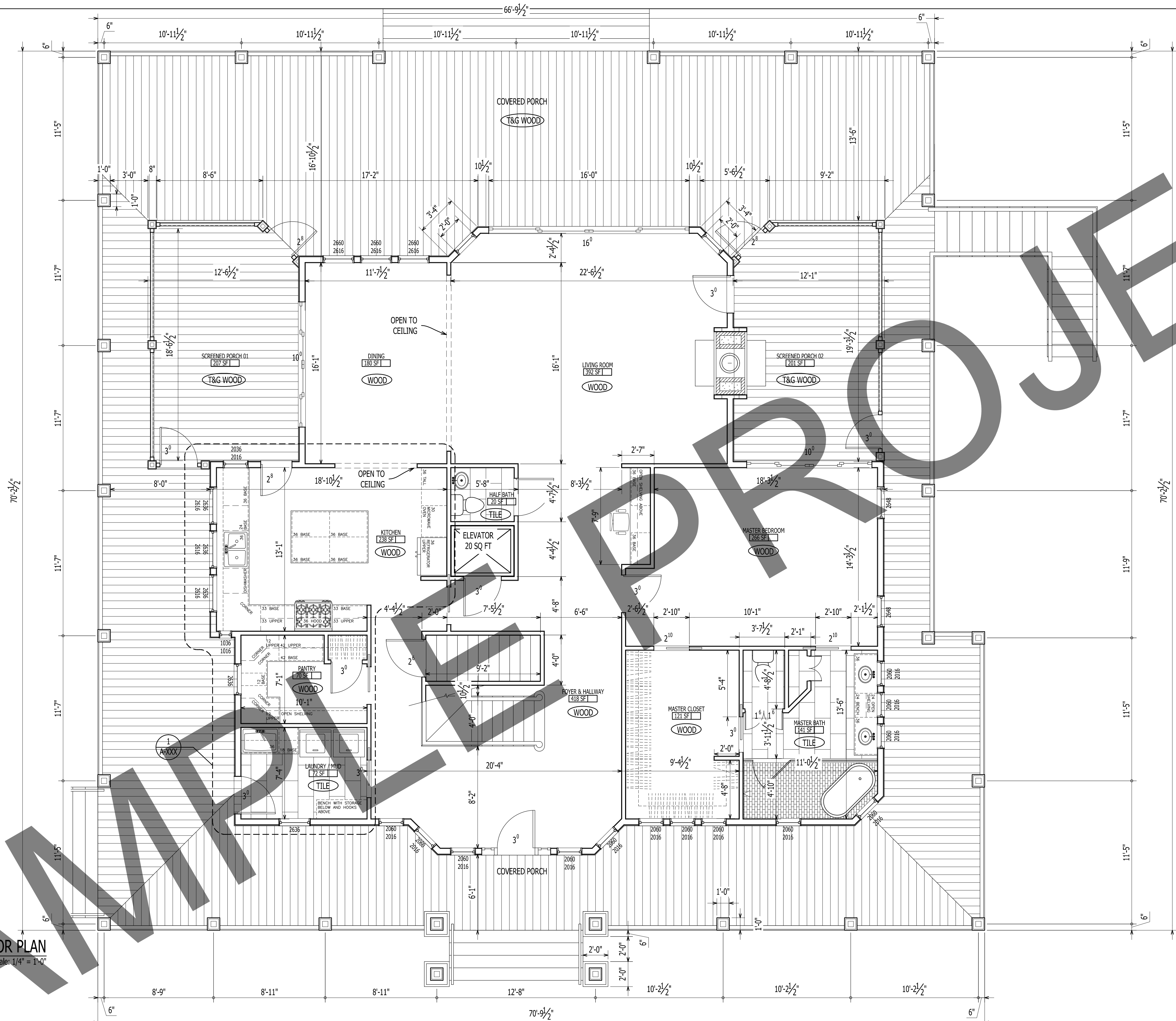
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A-104
PLANS

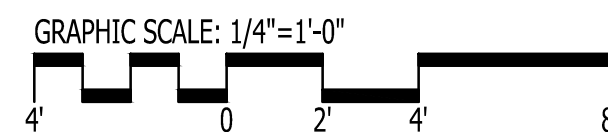
12 X 18 SHEETS ARE HALF SIZE



1
A-102
FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

SQUARE FOOTAGES	
FIRST FLOOR GROSS	2,173 SF
SECOND FLOOR GROSS	1,168 SF
OVERALL GROSS	3,341 SF
SCREENED PORCHES	408 SF
COVERED PORCHES	2,612 SF

FIRST FLOOR NET HEATED & COOLED	
LAUNDRY	72 SF
PANTRY	70 SF
ELEVATOR	20 SF
1/2 BATHROOM	21 SF
KITCHEN	238 SF
DINING	180 SF
LIVING ROOM	392 SF
MASTER BEDROOM	266 SF
MASTER BATHROOM	141 SF
MASTER CLOSET	121 SF
FOYER/HALL	418 SF
NET TOTAL	1,939 SF



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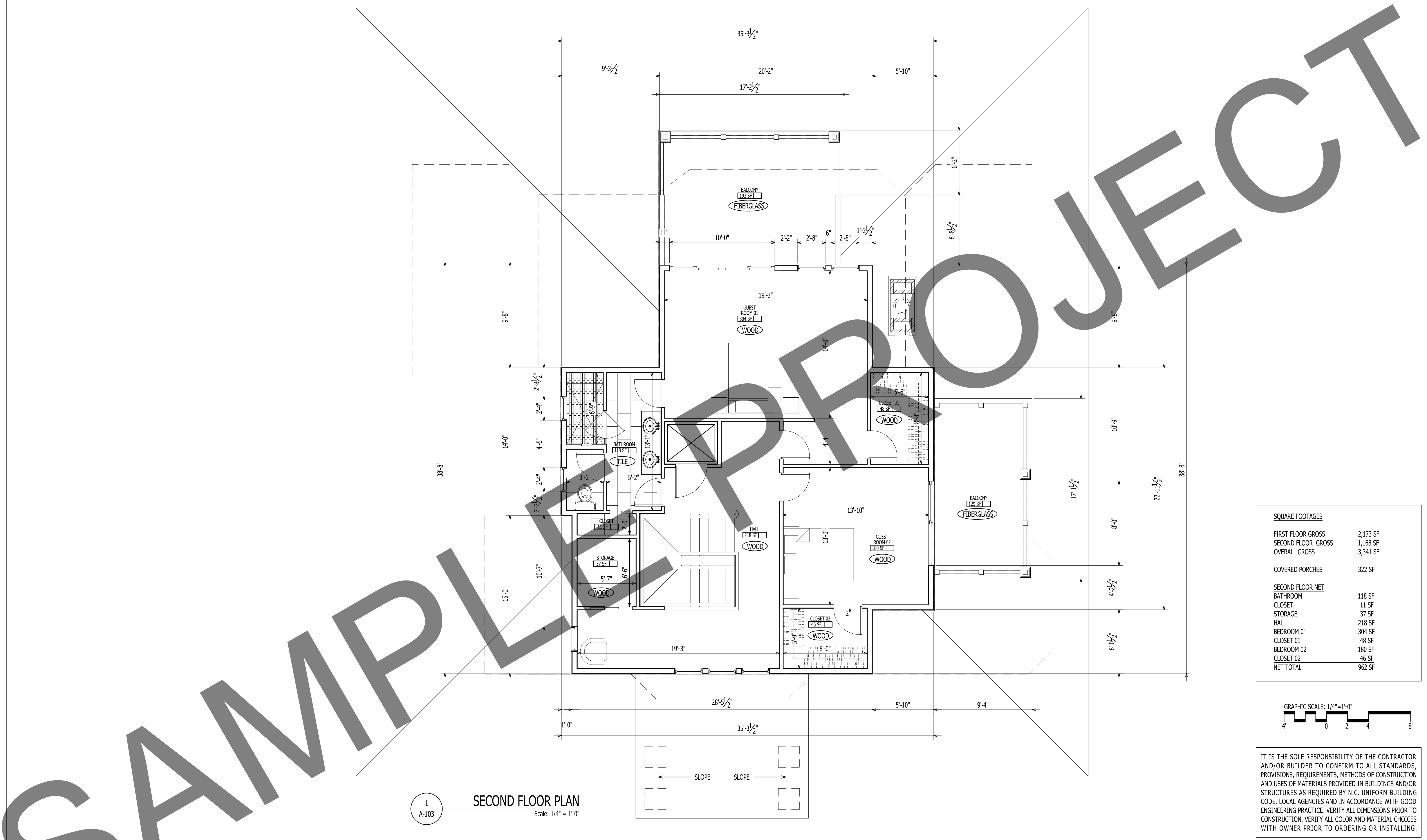
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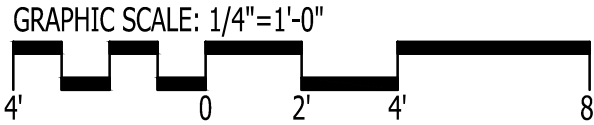
A-102

FLOOR PLAN

12 X 18 SHEETS ARE HALF SIZE



SQUARE FOOTAGES	
FIRST FLOOR GROSS	2,173 SF
SECOND FLOOR GROSS	1,168 SF
OVERALL GROSS	3,341 SF
COVERED PORCHES	
322 SF	
SECOND FLOOR NET	
BATHROOM	118 SF
CLOSET	11 SF
STORAGE	37 SF
HALL	218 SF
BEDROOM 01	304 SF
CLOSET 01	48 SF
BEDROOM 02	180 SF
CLOSET 02	46 SF
NET TOTAL	962 SF



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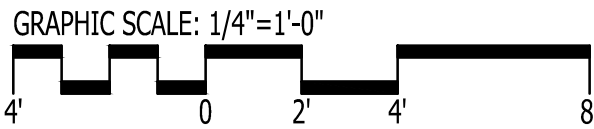
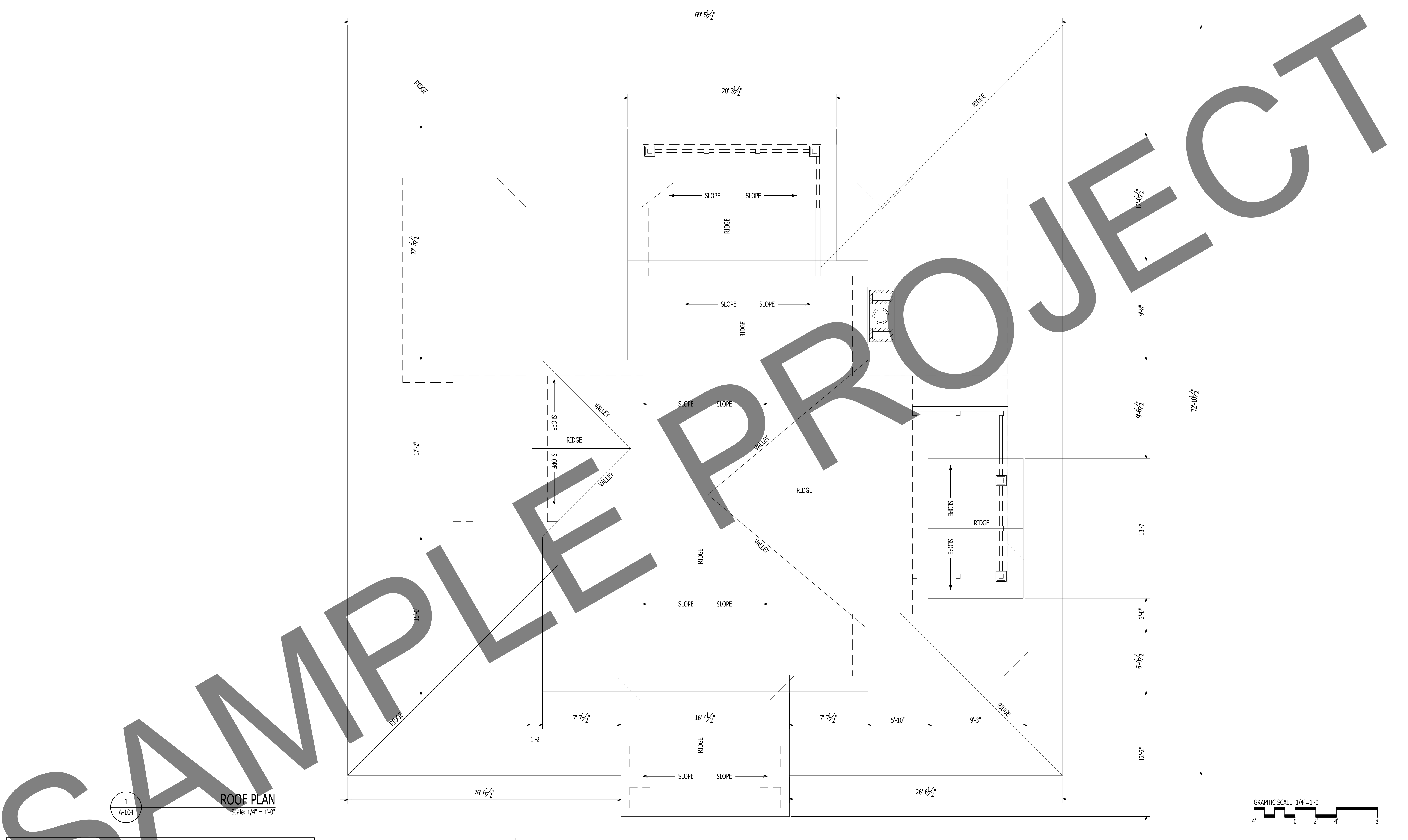
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A-103

SECOND FLOOR PLAN

12 X 18 SHEETS ARE HALF SIZE



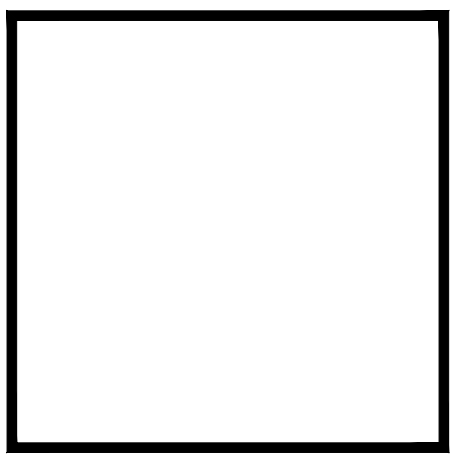
1
A-104
ROOF PLAN
Scale: 1/4" = 1'-0"



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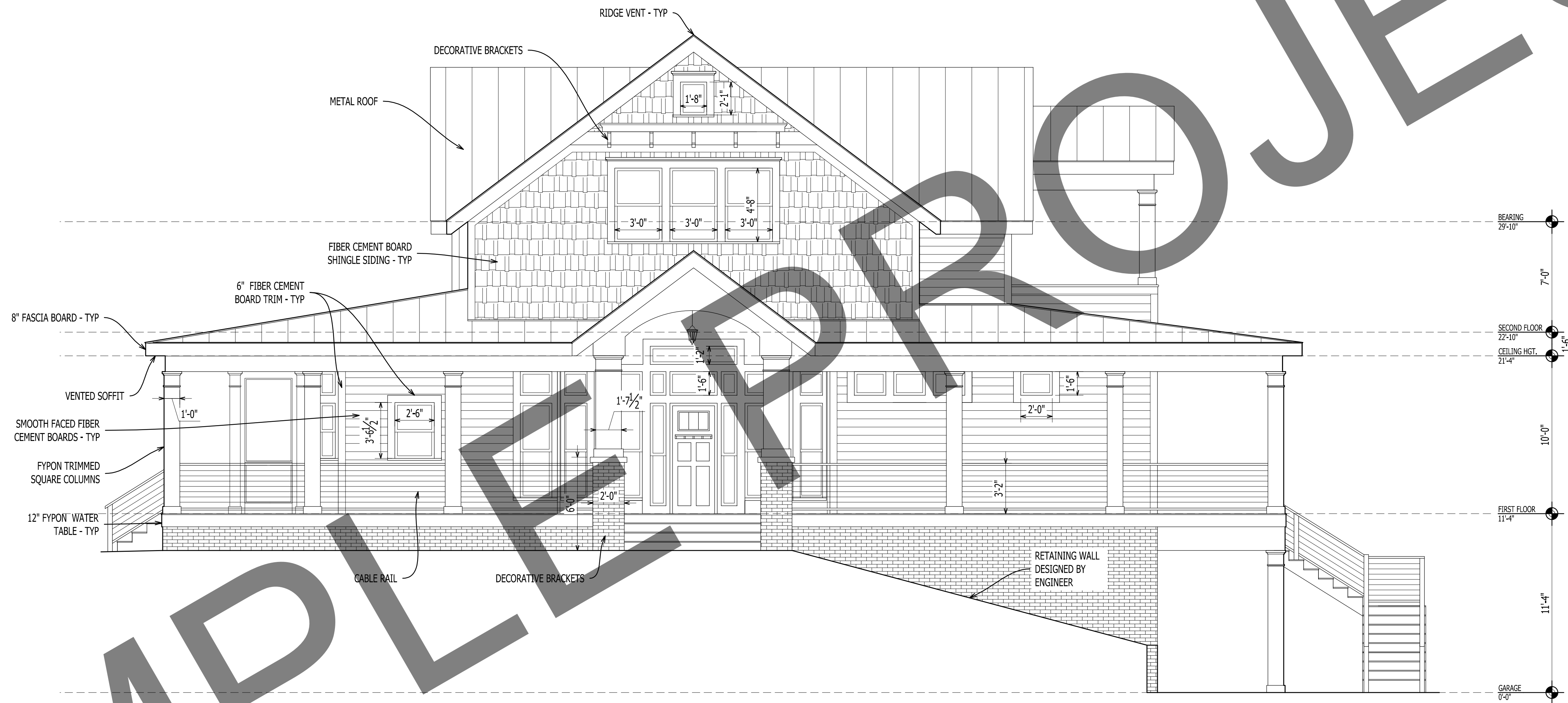
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A-104

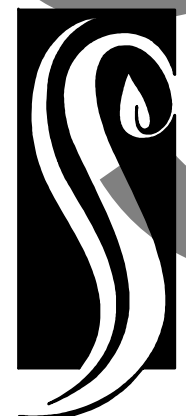
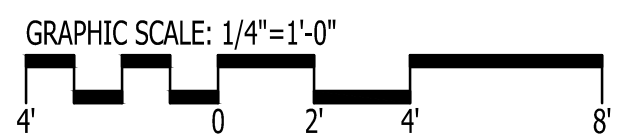
ROOF PLAN

12 X 18 SHEETS ARE HALF SIZE



1
A-201

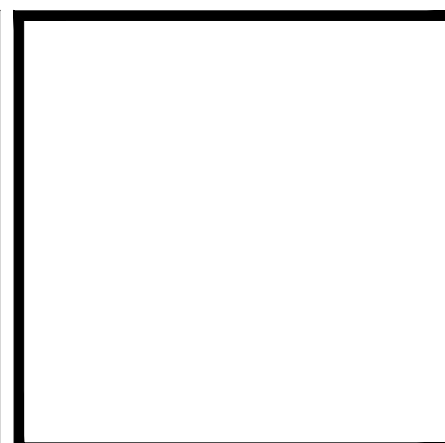
ELEVATIONS
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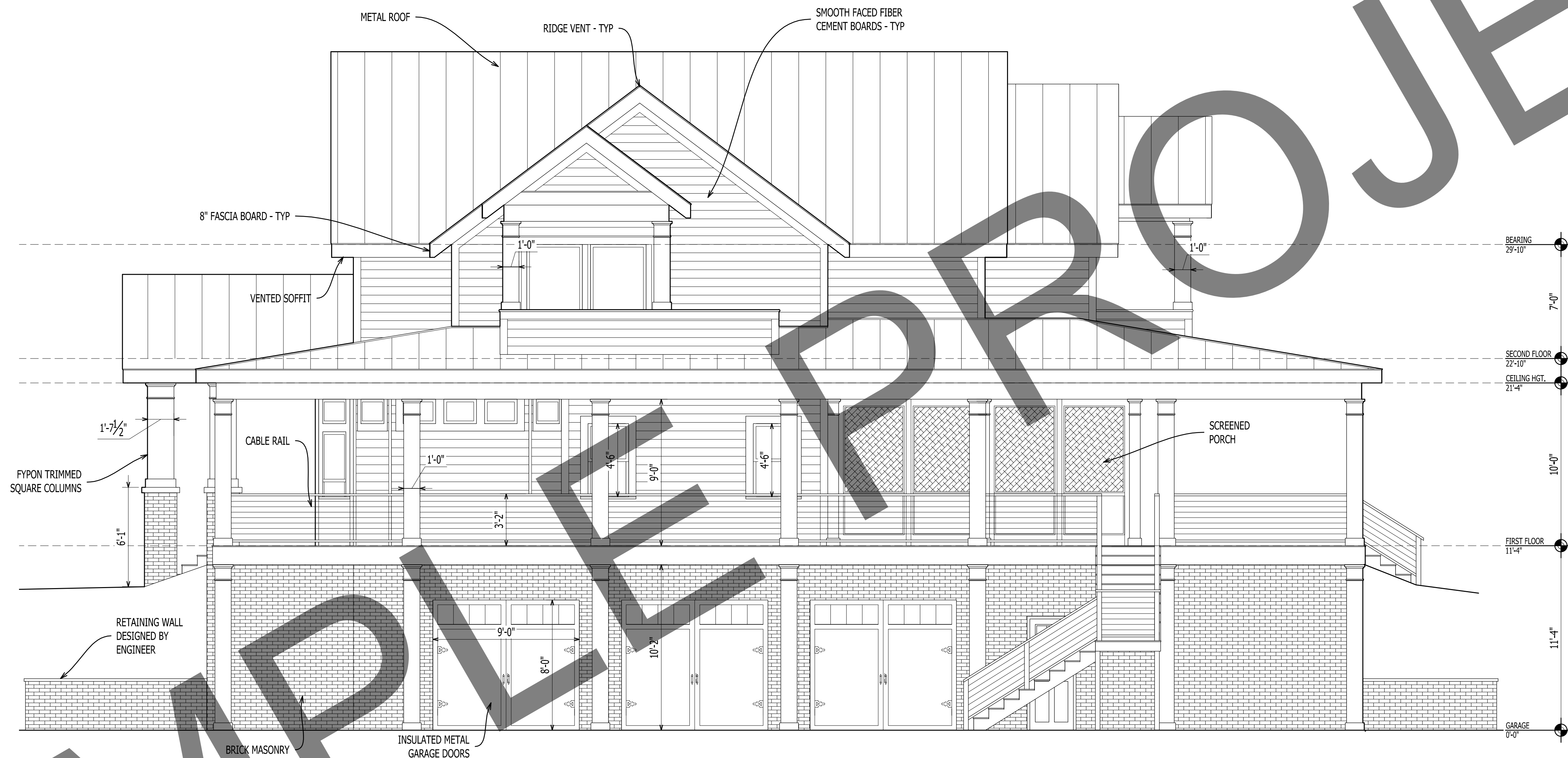
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A-201

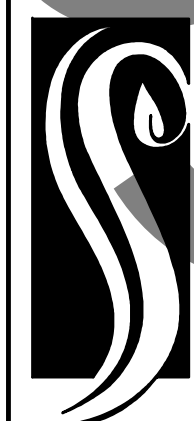
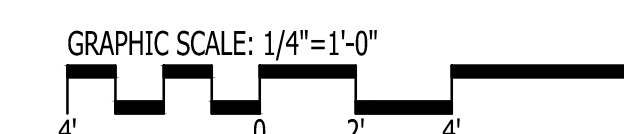
ELEVATIONS

12 X 18 SHEETS ARE HALF SIZE



1
A-202

ELEVATIONS
Scale: 1/4" = 1'-0"



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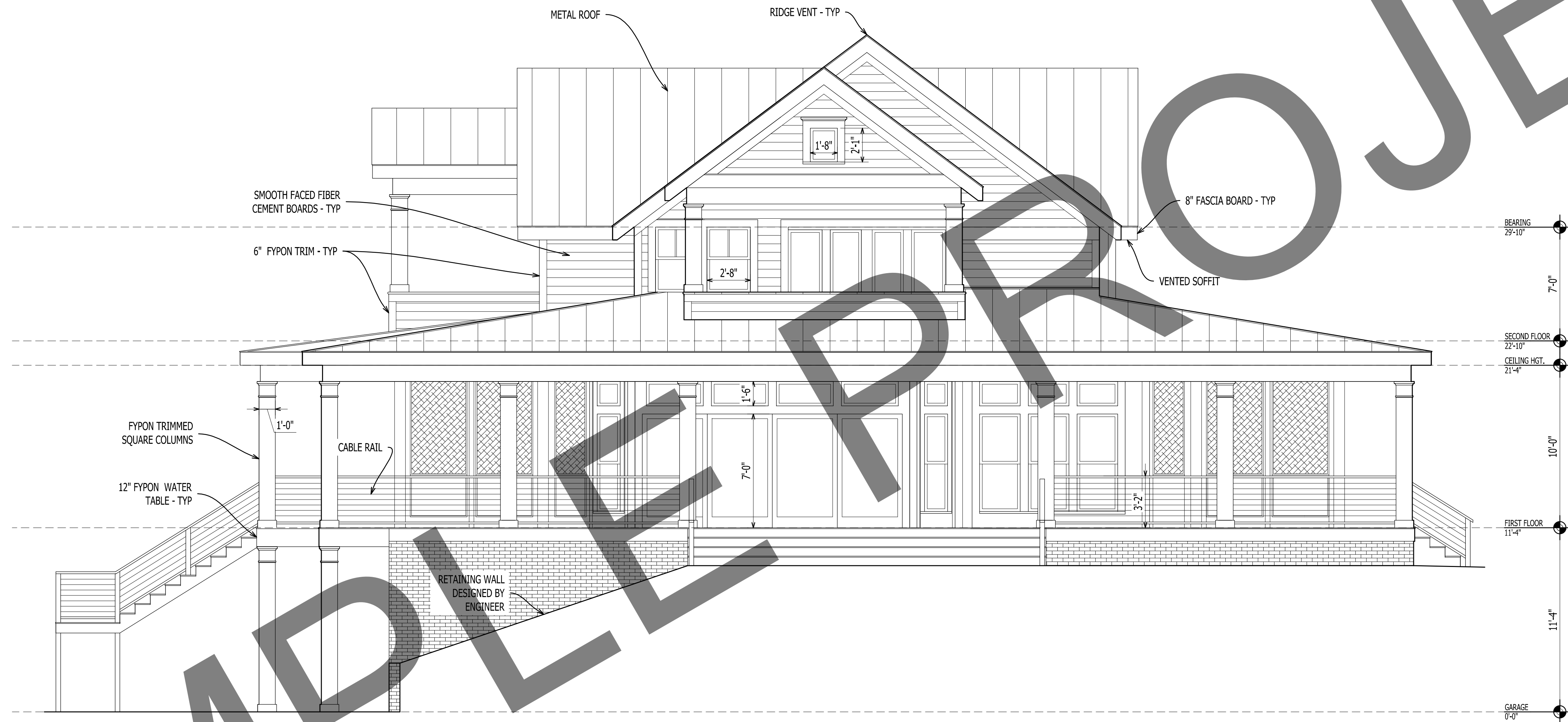
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A-202

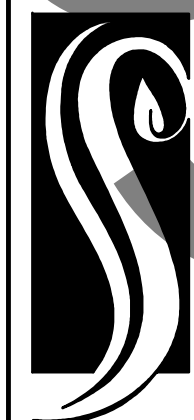
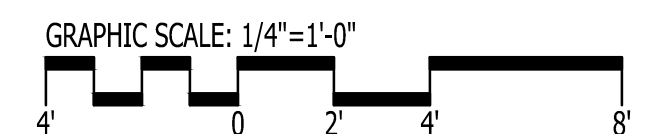
ELEVATIONS

12 X 18 SHEETS ARE HALF SIZE



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A-203

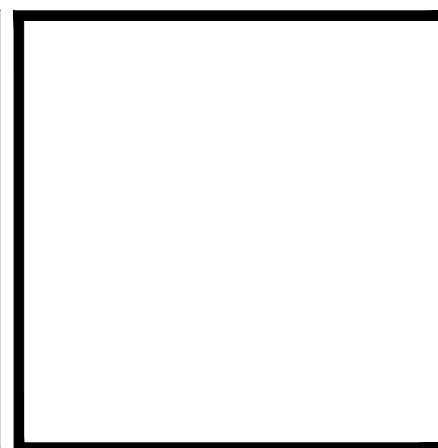
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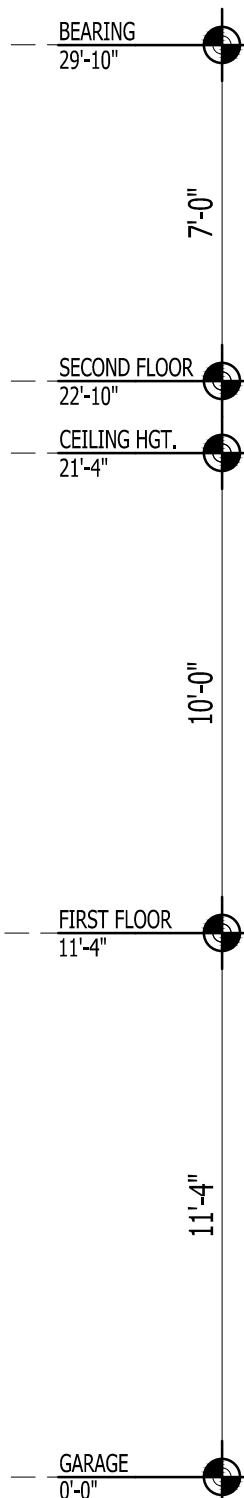
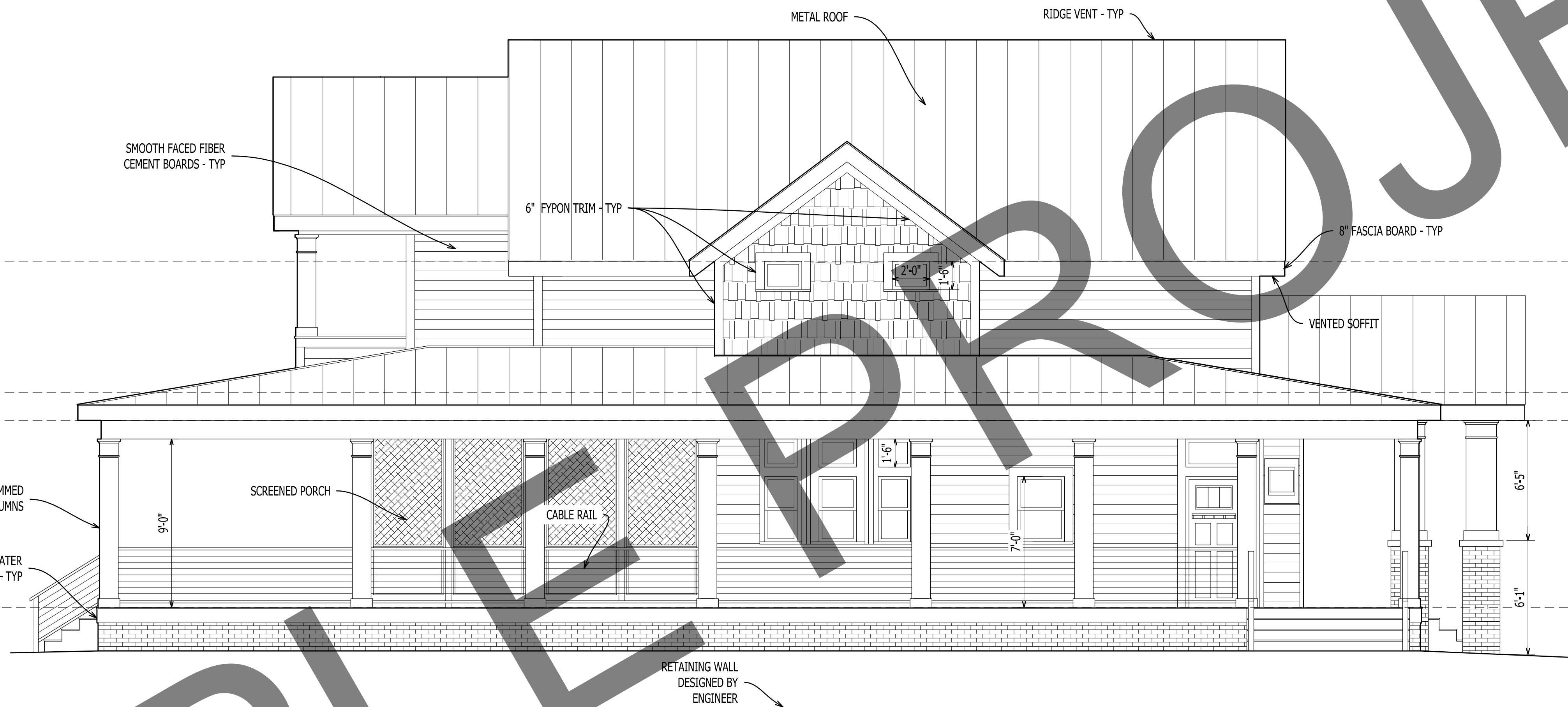
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A-203

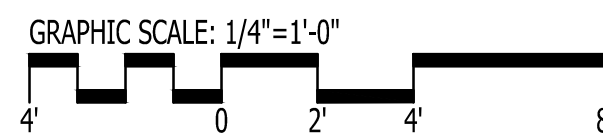
ELEVATIONS

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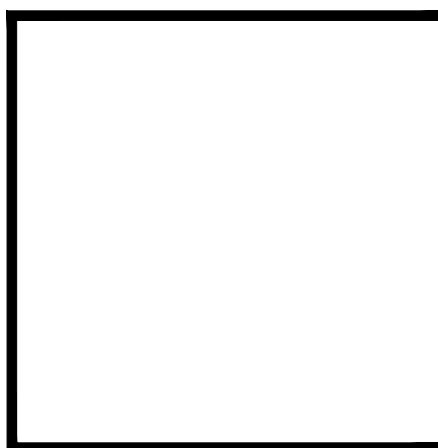
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A-204

ELEVATIONS
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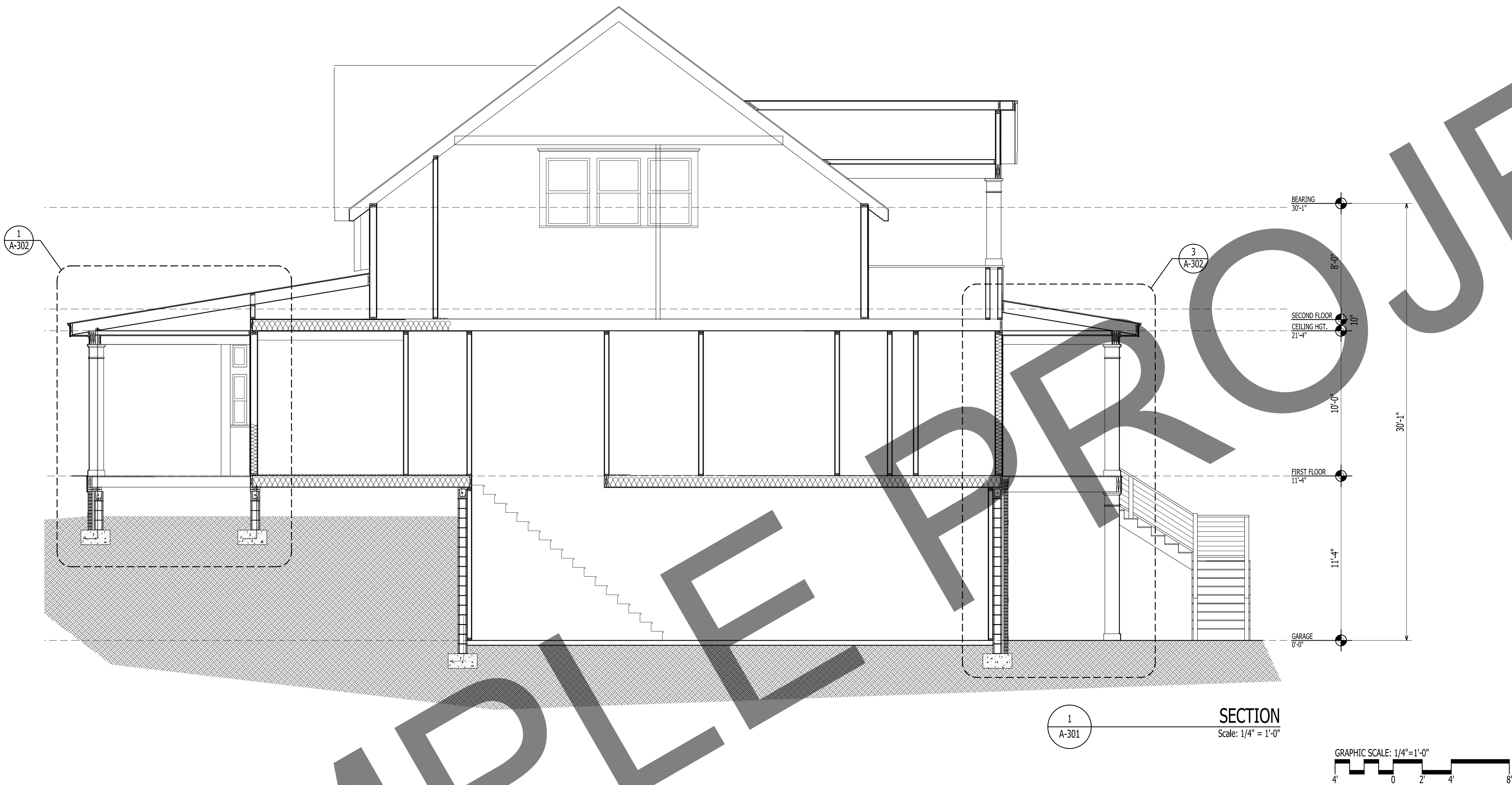


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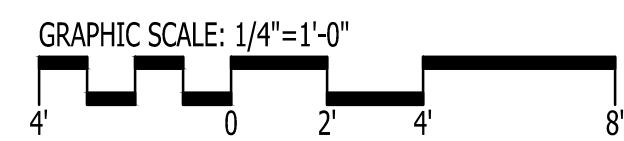
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A-204
ELEVATIONS

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1
A-301
SECTION
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- FOUNDATION NOTES:**
- CRAWL SPACE SHALL BE PROVIDED WITH FLOOD OPENINGS THAT MEET THE FOLLOWING CRITERIA:
1. THERE SHALL BE A MINIMUM OF TOW OPENINGS ON DIFFERENT SIDES OF EACH ENCLOSED ARE BELOW THE DESIGN FLOOD ELEVATTON. OPENINGS SHALL BE LOCATED ON EXTERIOR WALLS.
 2. THE TOTAL NET AREA OF ALL OPENINGS SHALL BE AT LEASE 1 SQUARE INCH FOR EACH SQUARE FOOT OF ENCLOSED AREA.
 3. THE BOTTOM OF EACH OPENING SHALL BE 1 FOOT OR LESS ABOVE ADJACENT GROUND LEVEL.
 4. OPENINGS SHALL NOT BE LESS THAN 3 INCHES IN ANY DIRECTION IN THE PLANE OF THE WALL.
- A MINIMUM 18"X24" ACCESS SHALL BE PROVIDED TO ALL CRAWL SPACE AREAS.

- DESIGN CRITERIA:**
- DESIGN WIND SPEED = 120mph, EXPOSURE CATEGORY 'C',
- ENCLOSED BUILDING
- DESIGN LIVE LOADS: FLOOR=40psf, ROOF=20psf
- MASONRY NOTES:**
- ALL MASONRY SHALL BE LAID IN A RUNNING BOND PATTERN.
- CONCRETE MASONRY UNITS SHALL BE CELLULAR UNITS CONFORMING TO ASTM C90 GRADE N-2.
- STRUCTURAL BRICK SHALL CONFORM TO ASTM C62
- BRICK & CRICK SHALL HAVE MINIMUM COMPRESSIVE STRENGTH = 1,500psi
- MORTAR SHALL BE TYPE 'S' AND CONFORM TO ASTM C270
- DO NOT APPLY UNIFORM LOADS TO MASONRY UNTIL AT LEAST 12HRS AFTER BUILDING WALLS. DO NOT APPLY CONCENTRATED LOADS UNTIL AT LEAST 3 DAYS AFTER BUILDING WALLS.
- SITE CONDITIONS ARE UNKNOWN. FOUNDATION AND FOOTING DESIGN BASED ON PRESUMPTIVE SOIL BEARING PRESSURE OF 2000psf. CONTRACTOR SHALL CONFIRM.**
- STRUCTURAL FILL SHALL BE PLACES IN LIFTS OF NOT MORE THAN 6-in. LOOSE THICKNESS, WITH EACH LIFT COMPACTED TO AT LEAST 95% OF ITS MAXIMUM STANDARD PROCTOR DENSITY.
- WOOD FRAMING NOTES:**
- LUMBER SHALL BE SOUTHERN YELLOW PINE (SYP) #2 OR BETTER FOR HEADERS, JOISTS, AND RAFTERS UNO. STUDS, BRACING, AND BLOCKING SHALL BE SPRUCE PINE FIR (SPF) #2 OR BETTER.
- # - DENOTES NU,BER OF JACK STUDS REQUIRED (2 UNLESS NOTED OTHERWISE)
- LAMINATED VENEER LUMBER (LVL) PILES SHALL BE 1.75" WIDE AND MEET OR EXCEED THE FOLLOWING DESIGN PROPERTIES:
- MODULES OF ELASTICITY (E) - 1,800,000 psi
 - FLEXURAL STRESS (Fb) - 2,400 psi
 - SHEAR STRESS (Fv) - 190 psi
- LBW - LOAD BEARING WALL
- FLUSH - BOTTOM OF HEADER IS FLUSH w/ BOTTOM OF FLOOR SYSTEM
- ALL PRESSURE TREATED 2x MATERIAL SHALL BE SYP #2 OR BETTER
- EXTERIOR WALLS SHALL BE SHEATHED WITH $\frac{5}{8}$ " OSB (24/16 APA RATED SHEATHING) AND NAILED WITH 8d NAILS 3" O.C. AT ALL PANEL EDGES AND 6" O.C. AT INTERMEDIATE WALL FRAMING. INTERIOR SHALL BE SHEATHED WITH $\frac{1}{2}$ " GYPSUM. EXTERIOR SHEATHING EDGES SHALL BE BLOCKED.
- PLYWOOD ADJACENT TO PORCHES SHALL BE TREATED.
- DO NOT SPICE MEBERS BETWEEN BEARINGS.
- 2-PLY MEMBER CONNECTION - NAIL 2x MEMBERS TOGETHER USING 3 ROWS OF 16d NAILS 9" O.C. (LVL NAILING TO BE 12" O.C.)
- 3-PLY MEMBER CONNECTION - NAIL 2x MEMBERS TOGETHER USING 3 ROWS OF 16d NAILS 9" O.C. (LVL NAILING TO BE 12" O.C.) CONNECTION(S) SHALL BE FROM BOTH SIDES.
- 4-PLY MEMBER CONNECTION - ATTACH PLIES TOGETHER USING 2 ROWS, STAGGERED OF $\frac{1}{2}$ " THROUGH-BOLTS, WASHERS, AND NUTS 24" O.C. LOCATE ONE ROW 3" FROM TOP OF MEMBER, ONE ROW 3" FROM BOTTOM OF MEMBER.
- CONCRETE NOTES:**
- CONCRETE SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000psi.
- REINFORCING STEEL SHALL BE ASTM GRADE 60.
- CONCRETE FOOTING SHALL HAVE 3" CLEAR COVER AROUND REINFORCING BARS.
- REINFORCING BARS SHALL HAV EMINIMUM LAP OF 25" OR 36 BAR DIAMETERS.
- WELDED WIRE FABRIC SHALL CONFORM RO ASTM 185
- PROVIDE CONTRACTION JOINTS AS REQUIRED (10'-12' O.C. +/-)
- ALL CONCRETE WORK SHALL CONFORM TO NC BUILDING CODE.



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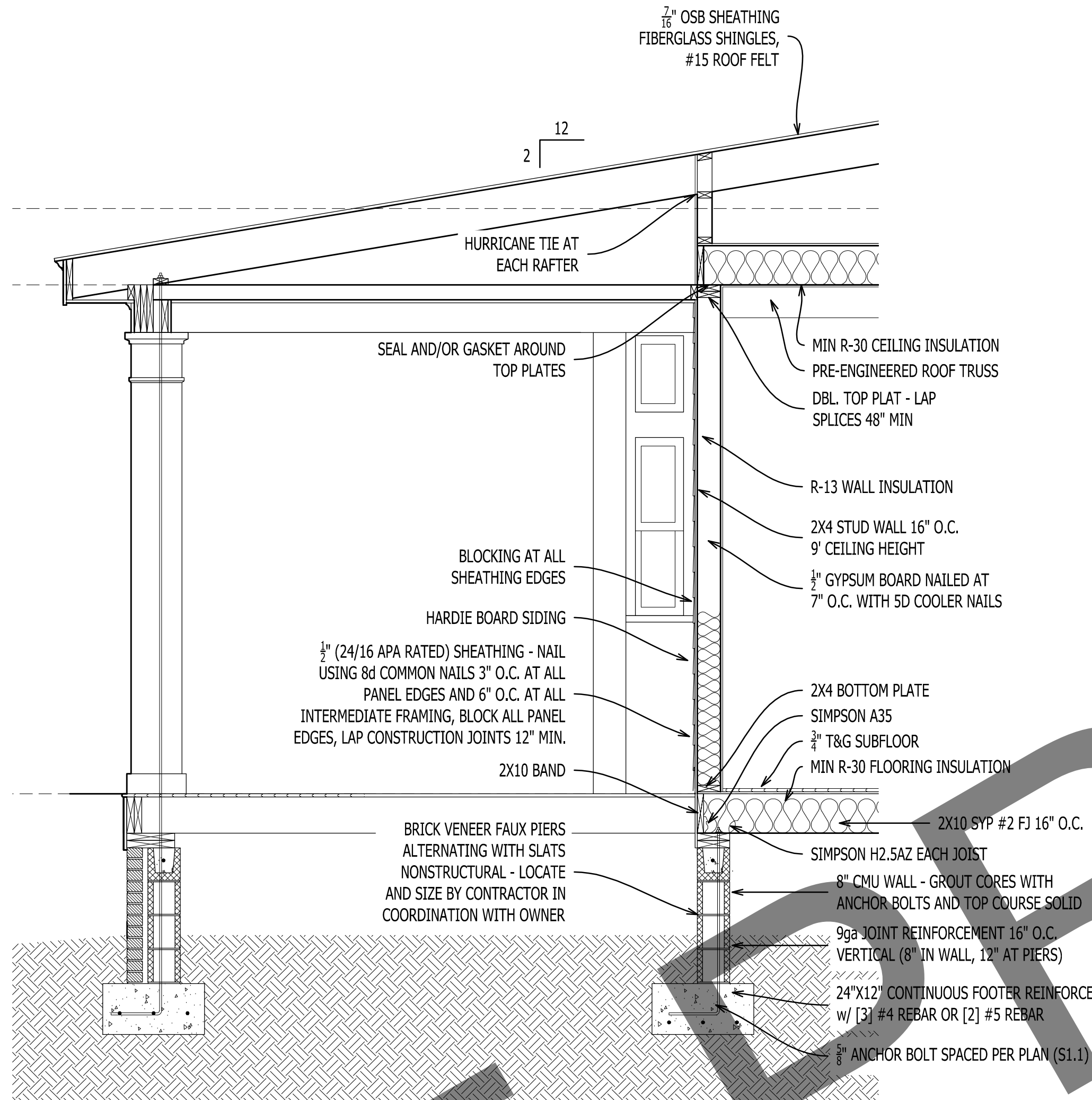
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SWANSBORO, NC 28584

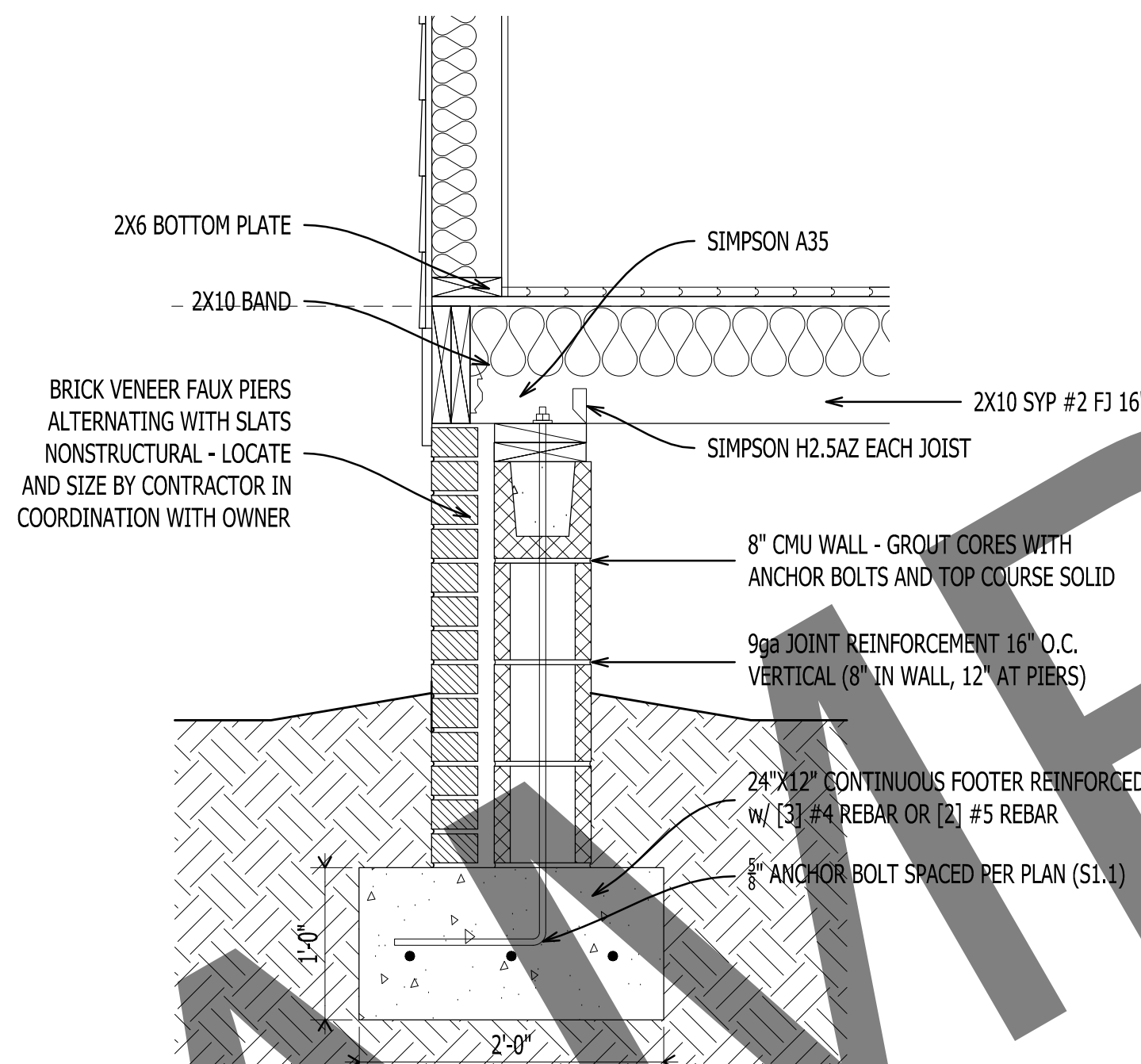
A-301
ELEVATIONS

12 X 18 SHEETS ARE HALF SIZE



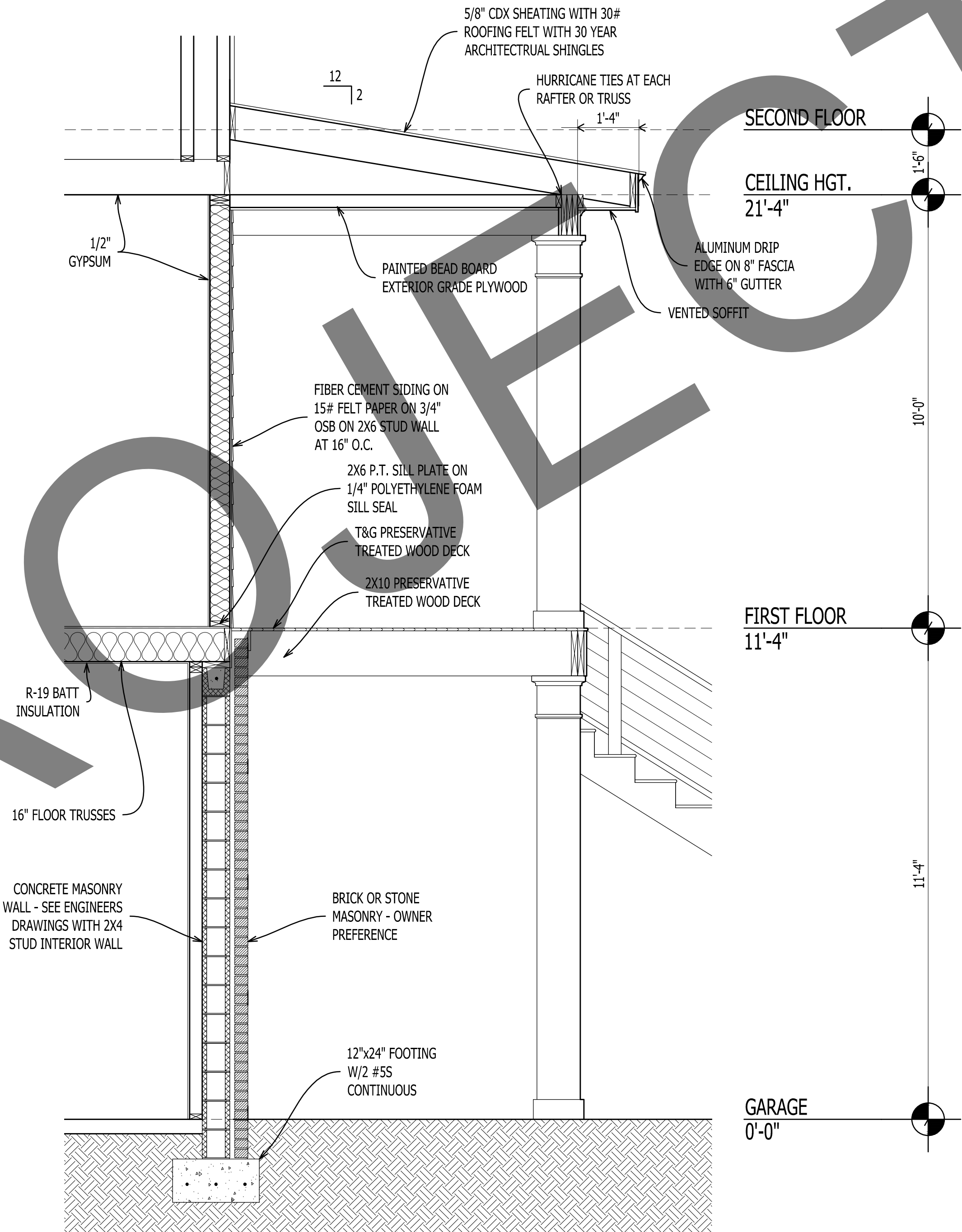
WALL SECTION

Scale: 1/2" = 1'-0"



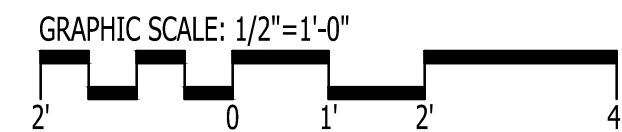
TYPICAL CANTILEVER FRAMING (JOISTS PERP. TO WALL)

Scale: 1" = 1'-0"



WALL SECTION

Scale: 1/2" = 1'-0"



NOTE:
STRUCTURAL ENGINEER NOTES MAY
SUPERSEDE ANY OR ALL DESIGNER
NOTES OR SPECIFICATIONS.

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Date: 01.31.2017

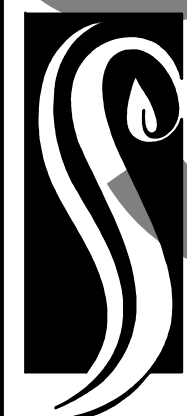
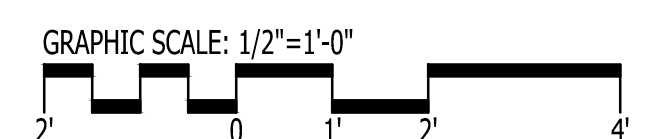
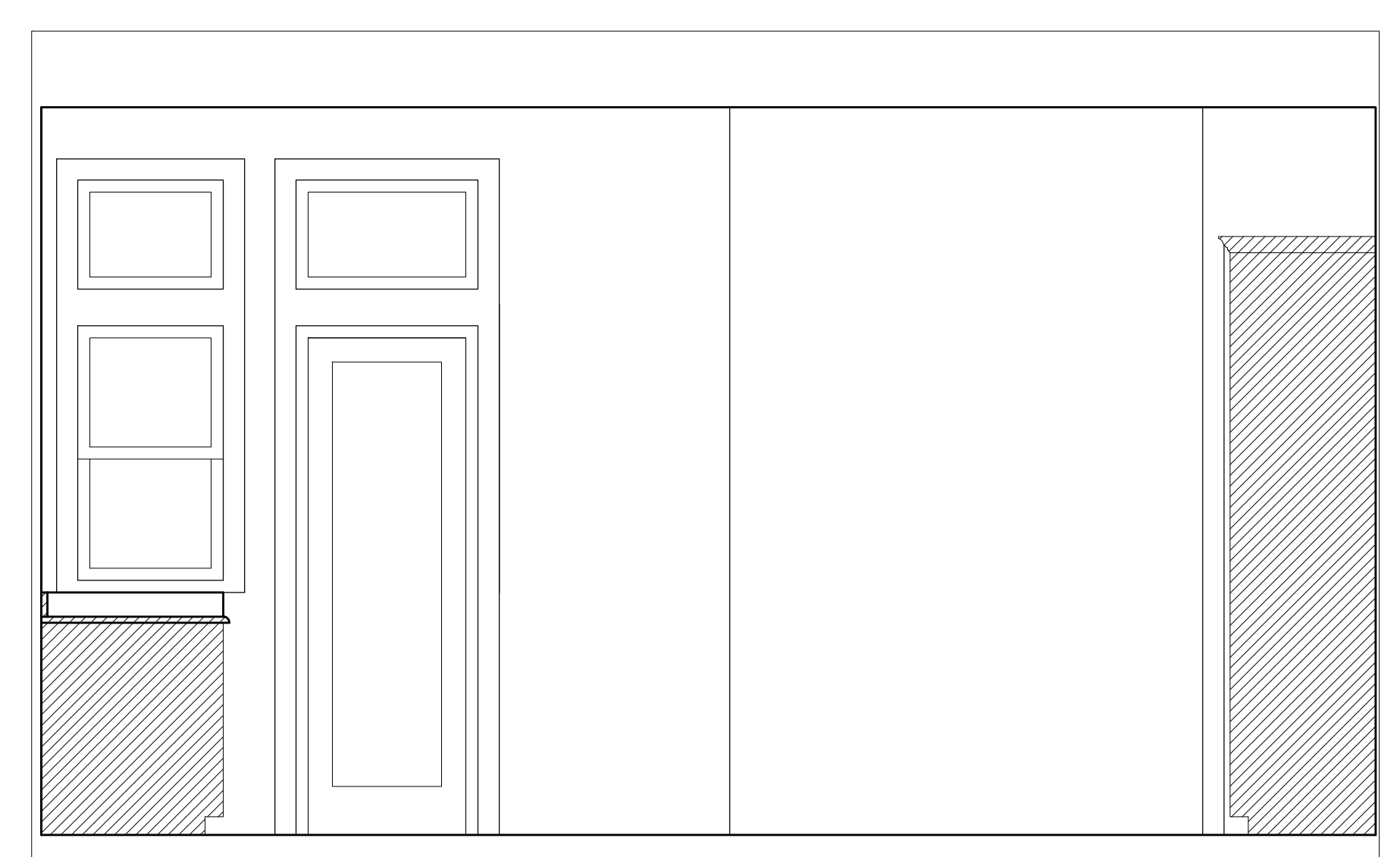
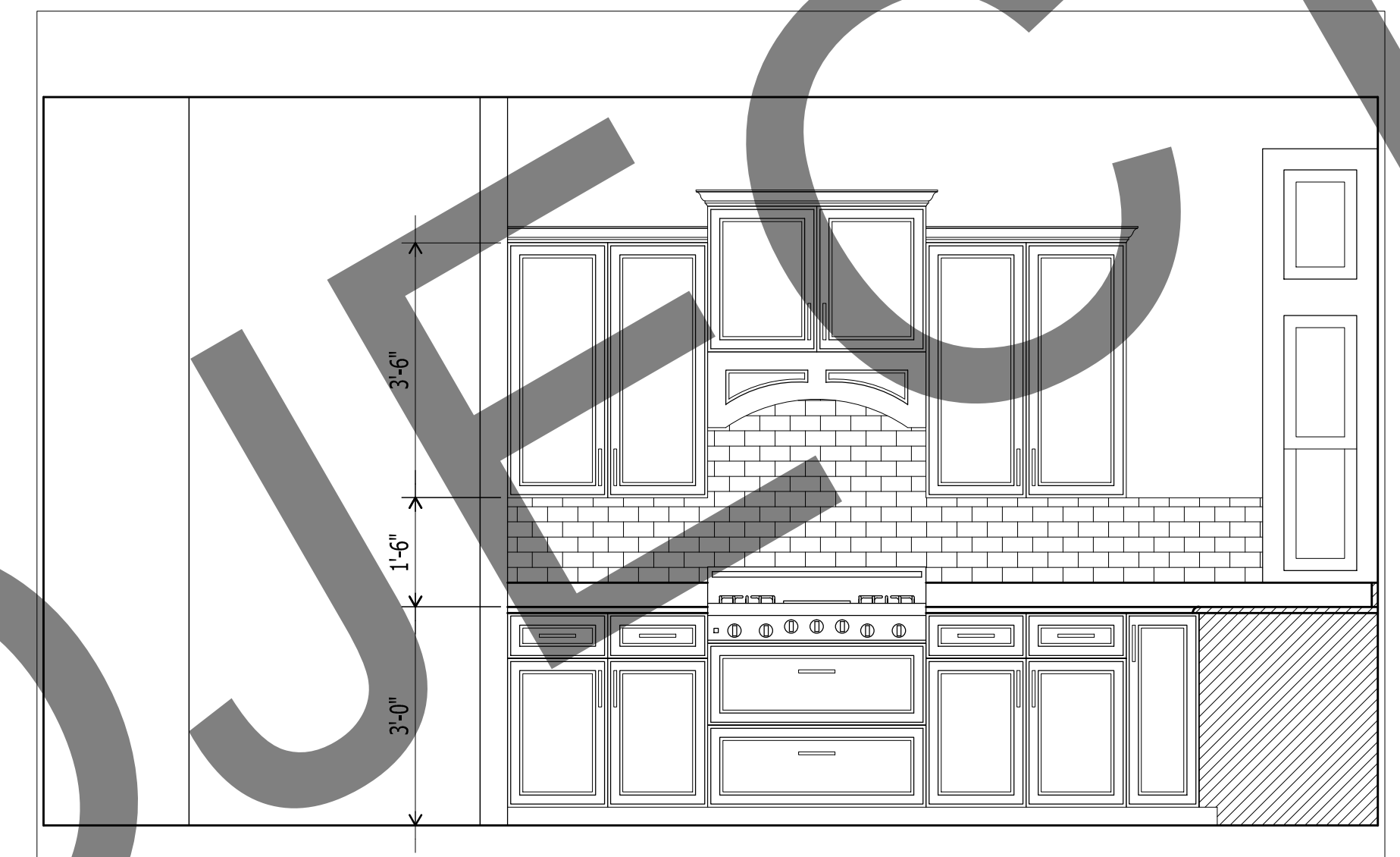
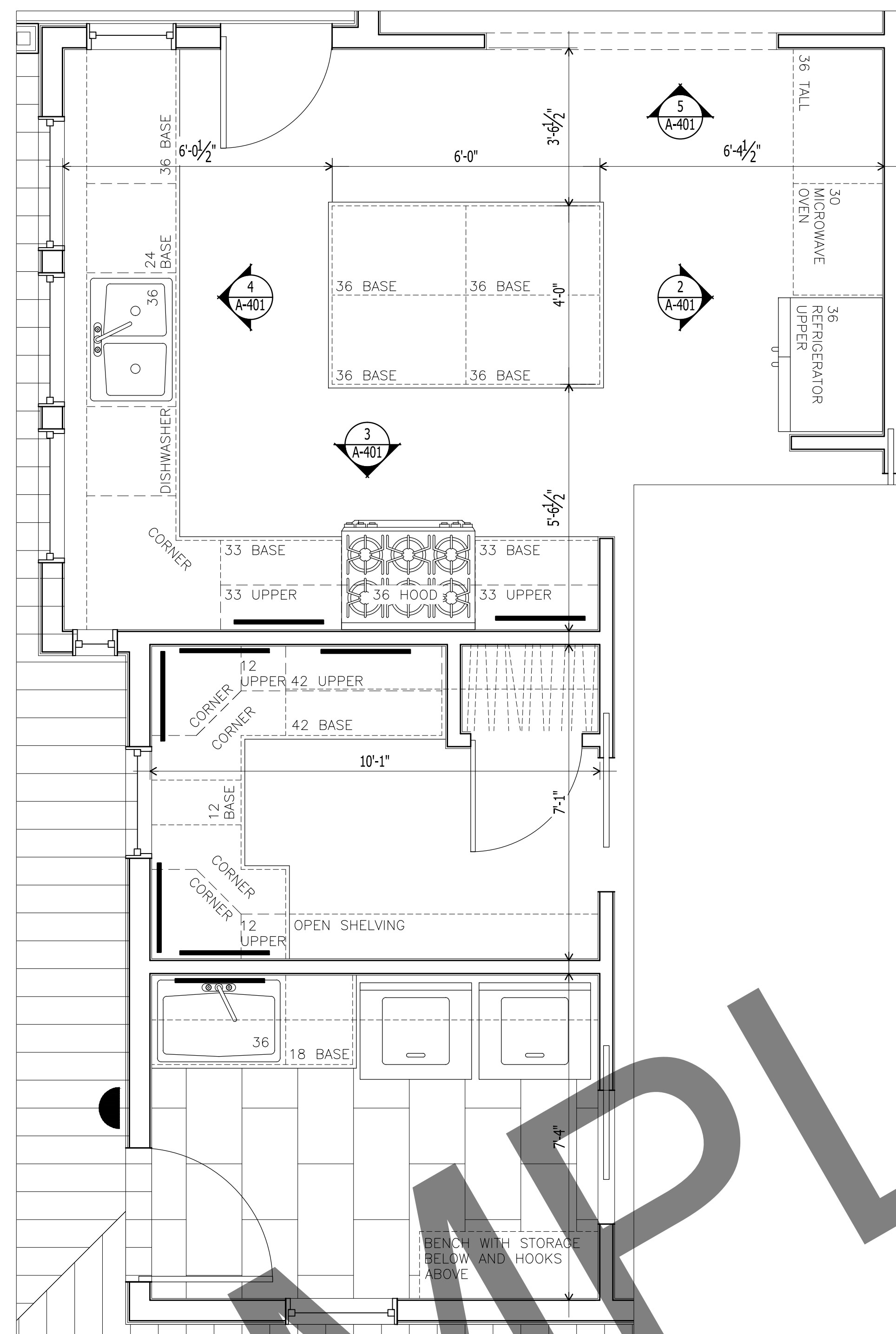
Revisions:

COASTAL CUSTOM
SWANSBORO, NC 28584

A-302

WALL SECTIONS

12 X 18 SHEETS ARE HALF SIZE



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Date: 01.31.2017

Revisions:

COASTAL CUSTOM
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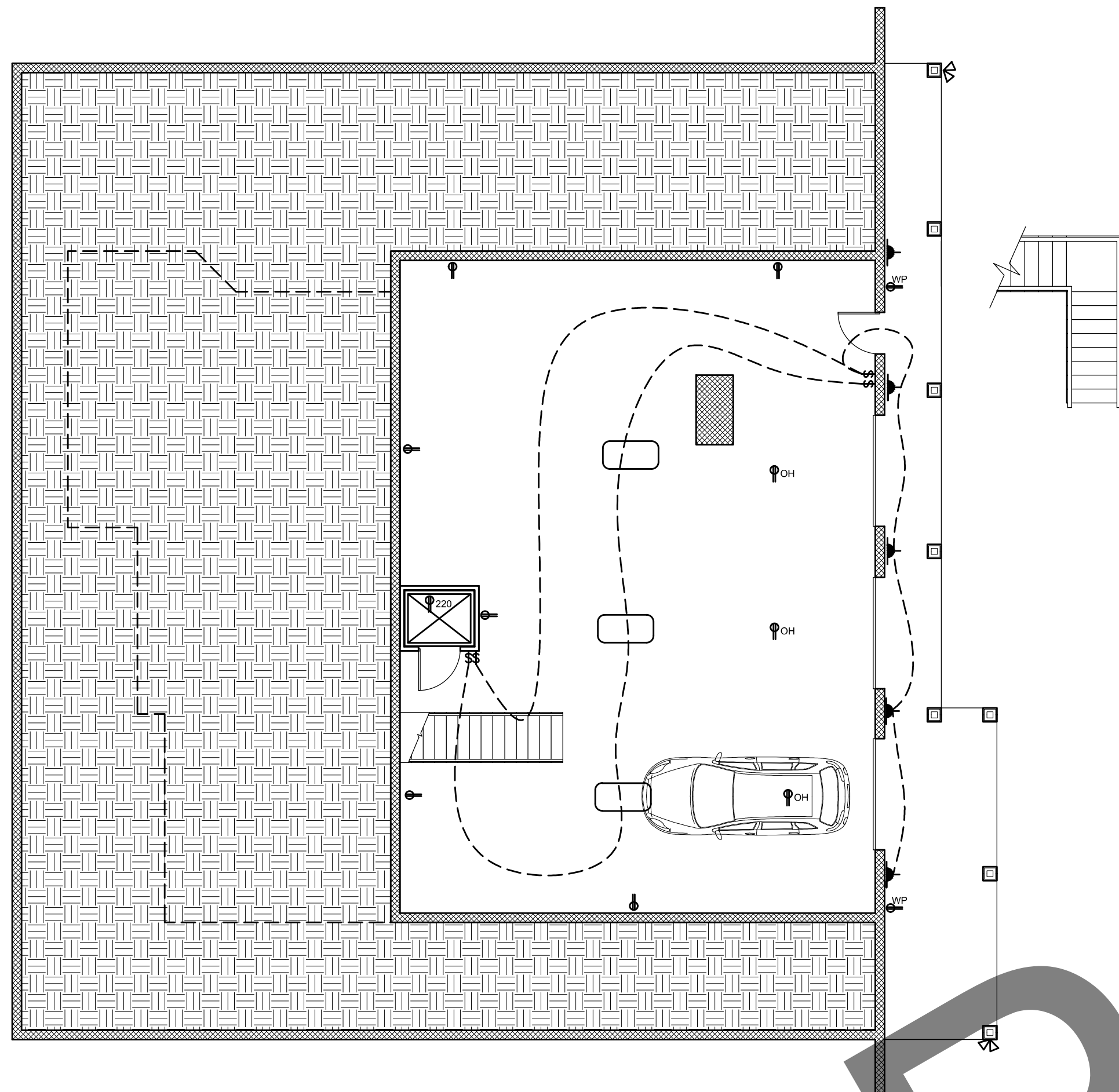
A-401

KITCHEN PLANS

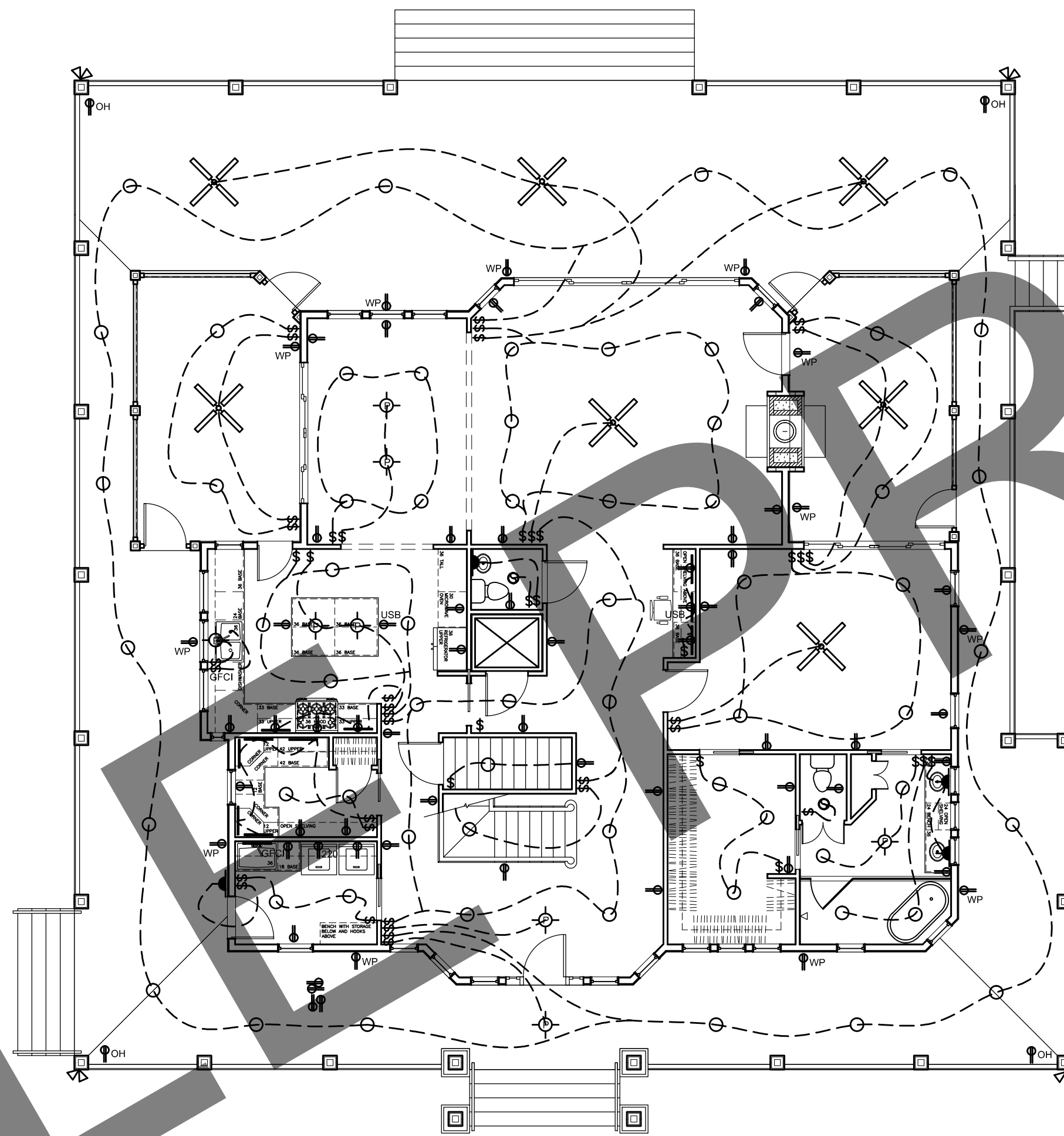
12 X 18 SHEETS ARE HALF SIZE

SCHEDULE

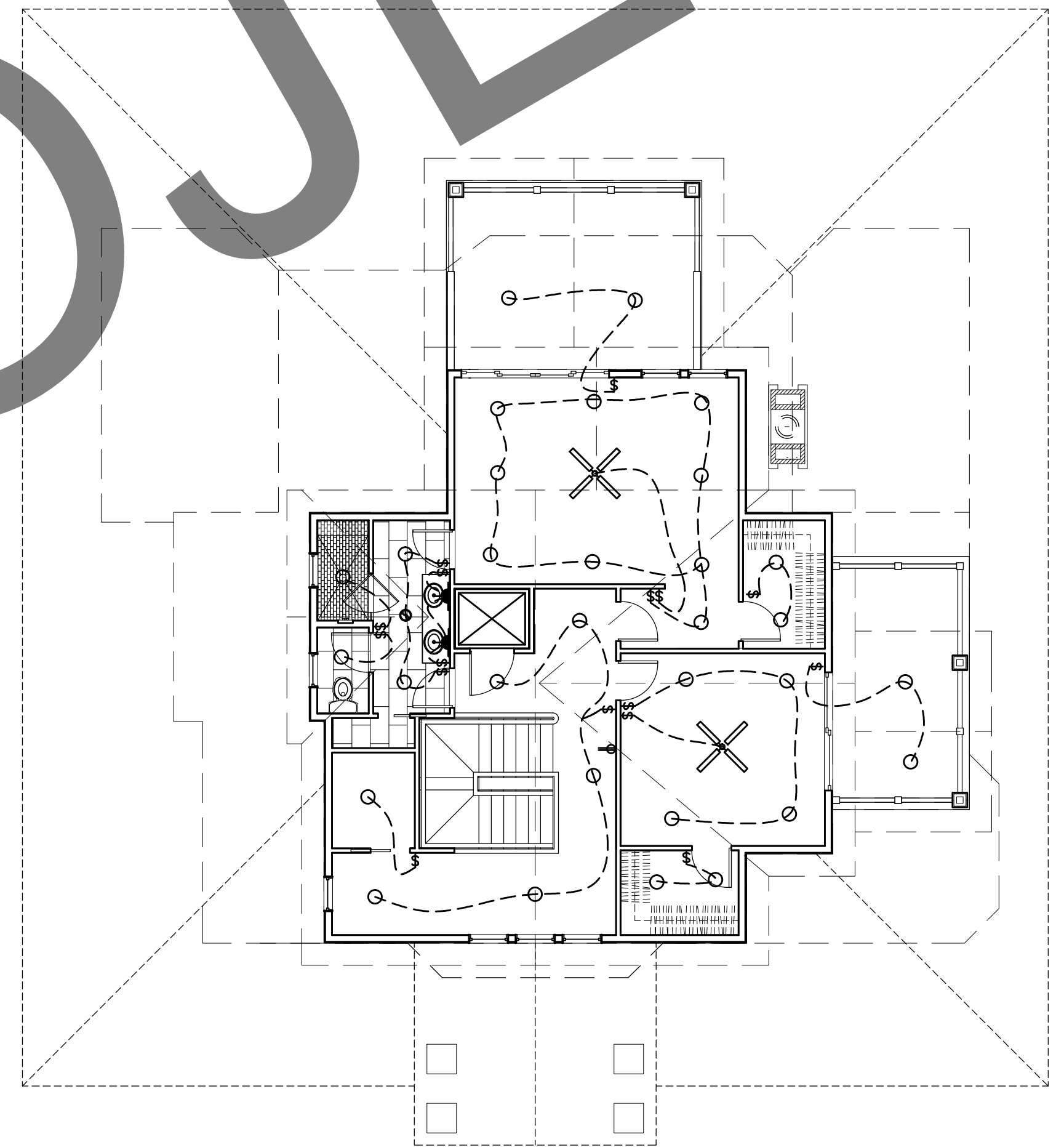
RECEPTACLE	WP WATER PROOF RECEPTACLE	FAN / LIGHT	WALL SCONCE	FLUORESCENT
FL FLOOR RECEPTACLE	USB RECEPTACLE WITH USB PORTS	CEILING PENDANT	CEILING PENDANT	UNDER-COUNTER
OH OVERHEAD RECEPTACLE	SW SWITCH	SECURITY LIGHT	FAN / LIGHT	CABLE
GFCI GFCI RECEPTACLE	2 WAY SWITCH	CEILING MOUNT	6" RECESSED CAN	TELEPHONE
	3 WAY SWITCH			



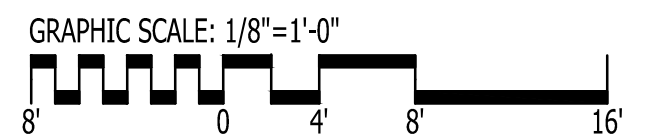
1
E-101
GARAGE FLOOR PLAN
Scale: 1/8" = 1'-0"



2
E-101
FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"



3
E-101
SECOND FLOOR PLAN
Scale: 1/8" = 1'-0"



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Date: 01.31.2017

Revisions:

COASTAL CUSTOM
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E-101

FLOOR PLAN

12 X 18 SHEETS ARE HALF SIZE